

# TOWN OF KENT INLAND WETLANDS COMMISSION

41 Kent Green Boulevard  
P.O. Box 678  
Kent, CT 06757  
Phone (860) 927-4625 Fax (860) 927-1313

## REGULAR MEETING MINUTES

The Kent Inland Wetlands Commission held a regular meeting on March 22, 2021 at 7:00 p.m. via Zoom.

### 1. CALL TO ORDER

Ms. Werner called the meeting to order at 7:08 p.m. via Zoom.

### 2. ROLL CALL AND APPOINTMENT OF ALTERNATES, IF REQUIRED

Commissioners Present: Lynn Werner, Chairman; Marge Smith, Ken Deitz, Paul Yagid, and Ken Johnson

Staff Present: Donna Hayes, Land Use Administrator and Tai Kern, Land Use Clerk

### 3. READING OF MINUTES OF PREVIOUS MEETINGS

#### 3.A. Regular Meeting Minutes, February 22, 2021.

4th paragraph under Mod 1168-18: Change to: "It was clarified that the applicants were asking the Commission to eliminate the mitigation plan"

*Ms. Smith moved to approve the Regular Minutes of the February 22, 2021 as amended. Mr. Yagid seconded and the motion carried unanimously.*

### 4. NEW BUSINESS – N/A

### 5. OLD BUSINESS

#### 5.A. Application #1242-20, Stefan Peters & Ashley Rosebrook, 99 Macedonia Brook Road, Map 2 Block 5 Lot 13, improvement to pre-existing, non-conforming driveway, demolition of existing garage and rebuild new with parking area and breezeway to existing house; inground swimming pool, equipment and pool deck.

Donna Hayes reported that the documents were not submitted in time to post them as necessary; therefore, this application will require an additional extension.

Jason Dismukes reported that excavation was done to repair the waterline and it was found that an original driveway exists below ground by about 2 1/2 feet. He feels the driveway may have been raised due to drainage issues. He has revised the plans to address this issue. The group viewed photos of the site.

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Kent Inland Wetlands Regular Meeting Minutes 03/22/2021

These are draft minutes. Corrections may be made by the Commission at the subsequent meeting. Please refer to subsequent meeting minutes for possible corrections and approval of these minutes.

Mr. Dismukes reviewed a plan to build a wall 8 feet from the brook. He explained that the wall will help with the driveway grade. The contours along the brook were described and the proposed berm was discussed. Vegetation along the area will be added for stabilization. He noted that the brook is dry most of the year.

Mr. Dismukes reported that the applicants have agreed to use a canister filter for the pool to avoid the need for backwash. He advised that the existing deck area with screened porch will be demolished. Pervious pavers will be used in the driveway around the garage. Construction sequence and erosion control measures are included in the plans.

Mr. Dismukes will forward a formal request for extension of this application to April 26, 2021.

*Mr. Yagid moved to accept extension to April 26, 2021 application #1242-20, Stefan Peters & Ashley Rosebrook, 99 Macedonia Brook Road, Map 2 Block 5 Lot 13, improvement to pre-existing, non-conforming driveway, demolition of existing garage and rebuild new with parking area and breezeway to existing house; inground swimming pool, equipment and pool deck. Mr. Deitz seconded and the motion carried unanimously.*

- 5.B.** Application #1249-21, Brian Neff, LE, for Michael Martin, 0 Kenmont Road, Map 15 Block 22 Lot 93, construction of single-family dwelling, detached garage, driveway, well, septic and associated site work.

Donna Hayes reported on her site walk and noted that she had no concerns. Brian Neff reported that Cathy Weber approved the septic plan.

*Ms. Smith moved to approve application #1249-21, Brian Neff, LE, for Michael Martin, 0 Kenmont Road, Map 15 Block 22 Lot 93, construction of single-family dwelling, detached garage, driveway, well, septic and associated site work. Mr. Deitz seconded and the motion carried unanimously.*

- 5.C.** Application #1250-21, Brian Neff, LE, for Benjamin Rosen, 23 Mauwee Brook Way, Map 9 Block 22 Lot 3, conversion of existing lawn on the south side of the house and motor court into a grass lined walking path with plantings on both sides and drainage directed away from the brook.

It was reported that a planting plan was submitted and no issues were found with what was proposed. Brian Neff explained that the updated version of the plan includes more plantings and a straighter pathway.

*Mr. Yagid moved to approve application #1250-21, Brian Neff, LE, for Benjamin Rosen, 23 Mauwee Brook Way, Map 9 Block 22 Lot 3, conversion of existing lawn on the south side of the house and motor court into a grass lined walking path with plantings on both sides and drainage directed away from the brook. Mr. Johnson seconded and the motion carried unanimously.*

- 5.D.** Modification to Application #1168-18, High Watch Recovery Center, Inc., 54 & 62 Carter Road, addition to existing administration building parking area, drainage basin and associated grading, Map 14 Block Lots 6 & 7; **modification to include removal of elevated boardwalk structure on the southwest side of the property and adjacent to the new detox facility and revise the associated grading to allow for the continuation of an uninterrupted at-grade walking surface.**

A letter from High Watch withdrawing this application was shared with the Commission. The plan will remain as originally approved by this Commission.

*Mr. Johnson moved to accept withdrawal of Modification to Application #1168-18, High Watch Recovery Center, Inc., 54 & 62 Carter Road, addition to existing administration building parking area, drainage basin and associated grading, Map 14 Block Lots 6 & 7; modification to include removal of elevated boardwalk structure on the southwest side of the property and adjacent to the new detox facility and revise the associated grading to allow for the continuation of an uninterrupted at-grade walking surface. Ms. Smith seconded and the motion carried unanimously.*

- 5.E. Application #1251-21, Sam Sabin for Ashley Shackelton, 398A Segar Mountain Road, Map 16 Block 25 Lot 11, construction of tennis court with fencing and clearing and seeding meadow.

Donna Hayes reviewed photos from her site visit noting that the stream is located at the other side of the tree line. Sam Sabin explained that there is a berm containing the wetlands to the other side of the area. The open meadow outside of the regulated area will be where the tennis court is located. The meadow clearing and seeding is within the regulated area.

*Mr. Johnson moved to approve application #1251-21, Sam Sabin for Ashley Shackelton, 398A Segar Mountain Road, Map 16 Block 25 Lot 11, construction of tennis court with fencing and clearing and seeding meadow. Ms. Smith seconded and the motion carried unanimously.*

## 6. COMMUNICATIONS TO THE COMMISSION

### A. WRITTEN:

- 6.A.1. Permit Application for the Use of Pesticides in State Waters: 346 Kent Cornwall Road

The group reviewed this application.

## 7. ADJOURNMENT

*Mr. Johnson moved to adjourn at 8:20 p.m. Mr. Deitz seconded and the motion carried unanimously.*

Respectfully submitted.

*Tai Kern*

Tai Kern,  
Land Use Clerk



### Town of Kent Inland Wetlands Commission

41 Kent Green Blvd.

P.O. Box 678

Kent, CT 06757

Phone: (860)927-4625

Fax: (860)927-4541

FOR OFFICE USE ONLY
Application # 1254-21
Filing fee \$ 100
Date of receipt 3/27/21
Approved _____
Denied _____

Application for a permit to conduct a regulated activity within the regulated area of an inland wetland or watercourse in the Town of Kent.

**ALL APPLICATIONS REQUIRE THE FOLLOWING (APPLICATIONS NOT INCLUDING ALL REQUESTED INFORMATION WILL NOT BE ACCEPTED):**

- A. The original and 8 copies of the completed application form.
- B. If the applicant is not the owner of the property, a letter of consent from the owner authorizing the applicant to act as the owner's agent.
- C. One copy of the completed "Statewide Inland Wetland Activity Reporting Form."
- D. Filing Fee of \$100.00 made out to the Town of Kent.
- E. 8 copies of a site plan and other information noted on the checklist.
- F. List of names and mailing addresses of adjacent land owners.
- G. Field flagging and staking as noted on the checklist.

**1. PROPERTY ADDRESS:**

1 ANDERSON ACRES ROAD. KENT

2. MAP: 16 BLOCK: 24 LOT: 16

**3. APPLICANT'S INFORMATION:**

Name RONALD SALTZ  
Mailing Address 6 ROCK HOLLOW DRIVE  
City ST ZIP Code LARCHMONT, NY 10538  
Home Phone \_\_\_\_\_  
Work Phone 917-721-3295  
E-Mail Address rsaltz@me.com

**4. OWNER'S INFORMATION:**

Name SAME AS ABOVE  
Mailing Address \_\_\_\_\_  
City ST ZIP Code \_\_\_\_\_  
Home Phone \_\_\_\_\_  
Work Phone \_\_\_\_\_  
E-Mail Address \_\_\_\_\_

**5. APPLICANT'S INTEREST IN THE PROPERTY:**

<input checked="" type="checkbox"/>	Owner
<input type="checkbox"/>	Agent
<input type="checkbox"/>	Other (please list)

4.A

6. PLEASE PROVIDE THE FOLLOWING INFORMATION: (Please be exact)

72.7	TOTAL ACREAGE OF PROPERTY
0	TOTAL ACREAGE OF WETLANDS AND/OR WATERCOURSES DISTURBED (sq. ft. divided by 43,560)
0.099	TOTAL ACREAGE OF DISTURBED REGULATED AREA (sq. ft. divided by 43,560)

7. PLEASE DESCRIBE, IN DETAIL, THE PROPOSED ACTIVITY:

(If needed, please attach additional pages.)

ACTIVITY INCLUDES RE-CONSTRUCTION OF AN EXISTING BARN BUILDING, AND CONSTRUCTION OF A SEPTIC SYSTEM. THE BARN IS TO BE CONSTRUCTED IN THE EXISTING FOOTPRINT ON A NEW FOUNDATION. THE EXISTING SEPTIC SYSTEM, OF THE ADJACENT HOUSE, WILL BE RELOCATED TO PROVIDE THE NEEDED SEPARATION DISTANCES TO THE NEW FOUNDATION. UTILITIES TO THE BARN WILL BE INSTALLED.

8. PLEASE DESCRIBE ALTERNATIVES CONSIDERED AND STATE WHY THIS PROPOSAL WAS CHOSEN:

SINCE THIS PROPOSAL IS A RENOVATION TO AN EXISTING STRUCTURE, NO ALTERNATIVE WAS CONSIDERED.

9. ARE THERE ANY EASEMENTS OR OTHER ENCUMBRANCES NOTED ON THE PROPERTY DEED FILED AT THE TOWN HALL? IF SO, PLEASE DESCRIBE OR ATTACH.

NO

10. PLEASE CERTIFY WHETHER:

- A. Any portion of the property on which the regulated activity is proposed is located within five hundred (500 feet of the boundary of an adjoining municipality.  Yes  No (If yes, the applicant shall give written notice of the application by certified mail, return receipt requested, on the same day to the inland wetlands agency of such other municipality).
- B. Traffic attributable to the completed project on the site will use streets within the adjoining municipality to enter or exit the site.  Yes  No
- C. Sewer or water drainage from the project site will flow through and impact the sewage or drainage system within the adjoining municipality.  Yes  No
- D. Water run-off from the improved site will impact streets or other municipal or private property within the adjoining municipality.  Yes  No

11. AGREEMENT AND SIGNATURE

The undersigned applicant hereby swears that the information supplied in the completed application is accurate, to the best of his/her knowledge and belief and is aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.

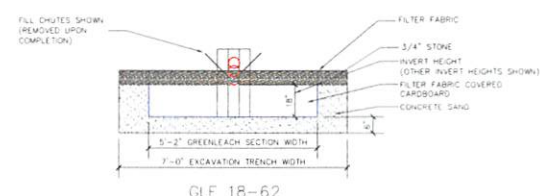
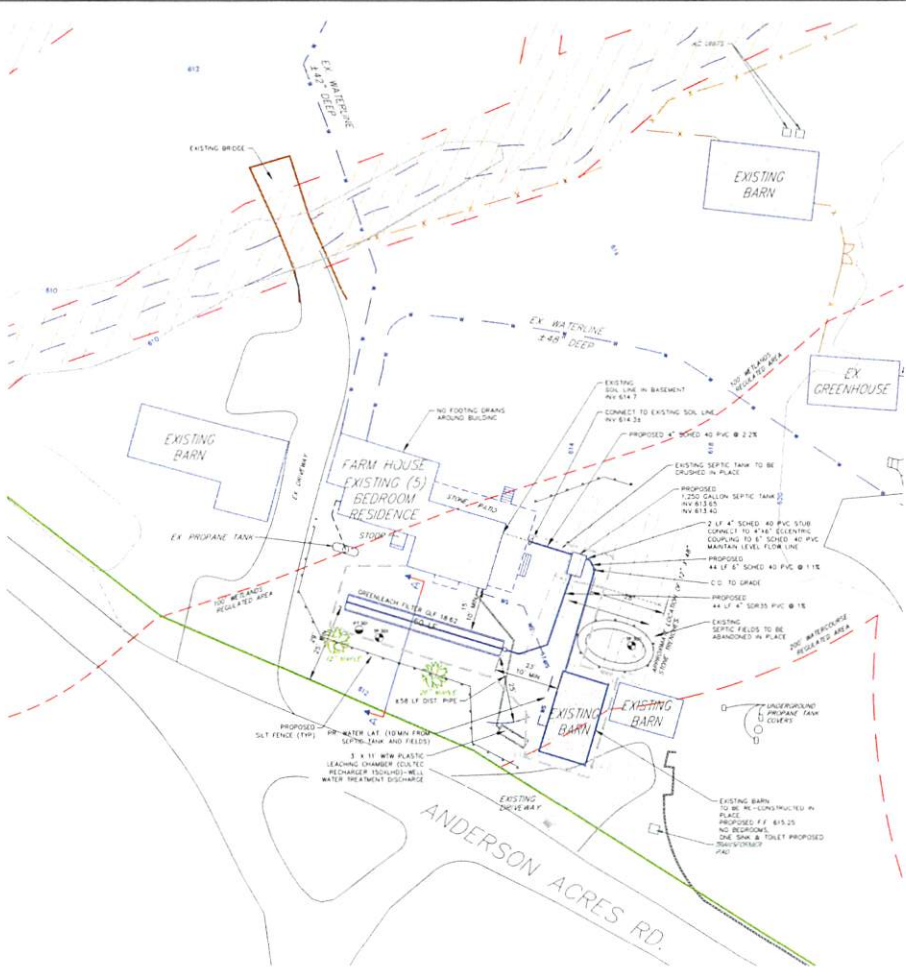
Name (printed) Ronald Saltz

Signature

Date

March 19, 2021





GLF 18-62  
GREENLEACH SYSTEM SECTION – END VIEW

### SOIL TESTING RESULTS

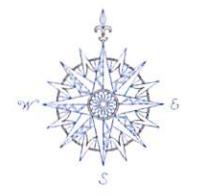
Deep Test #1 #300 December 13, 2016  
 0 - 12" Sand  
 12 - 30" Orange Brown Fine Silty Loam  
 30 - 45" Fine Sand with Silt  
 45 - 60" Moderately Compact Sand & Gravel  
 Moisture at 33"  
 Ground Water at 68"  
 No Logs

Deep Test #1 #301 December 13, 2016  
 0 - 12" Sand  
 12 - 30" Orange Brown Fine Silty Loam  
 30 - 45" Tan Medium Sand & Gravel  
 45 - 60" Fine Grey Sand, Trace Silt  
 Moisture at 33"  
 Ground Water at 67"  
 No Logs

Percolation Test #301 March 10, 2021  
 Depth = 3" P.S. 1.00  
 Time  
 1:30 12"  
 1:40 24"  
 1:50 36"  
 2:00 48"  
 2:20 60"  
 2:30 72"  
 Percolation Rate = 1-1.5 minutes per inch

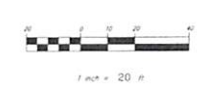
### LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- - - - - WETLAND LINE
- - - - - 100' WETLAND REGULATED AREA
- - - - - 200' WATERCOURSE REGULATED AREA
- ⊙ EXISTING WELL
- - - - - EXISTING PRIMARY SEPTIC AREA
- - - - - PROPOSED RESERVE SEPTIC AREA
- ⊙ DEEP TEST PIT LOCATION WITH NUMBER
- ⊙ PERC TEST LOCATION WITH NUMBER
- - - - - PROPOSED WATER SERVICE
- ⊙ EXISTING STONE WALL
- - - - - EXISTING FENCE
- - - - - EXISTING WATERCOURSE
- - - - - EXISTING TREE
- - - - - LIMITS OF DISTURBANCE
- - - - - TEMPORARY SOIL STOCKPILE AREA
- - - - - STABILIZED CONSTRUCTION ENTRANCE
- - - - - SILT FENCE



NO.	REVISION	DATE
1	REVISED PER TAND COMMENTS	07 APR 21

Previous Edition: October



RONALD & MICHELLE SALTZ  
 1 ANDERSON ACRES ROAD  
 KENT, CT 06757

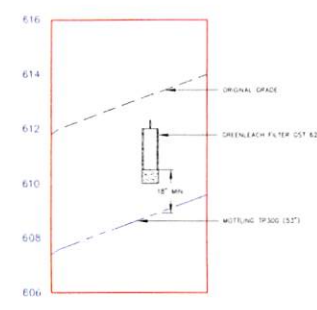
PROPOSED SUBSURFACE  
 SEWAGE DISPOSAL SYSTEM

#1 ANDERSON ACRES ROAD

KENT CONNECTICUT



CIVIL CONNECTION PROFESSIONAL PARK, SUITE 0102  
 43 SHEPARD HILL ROAD  
 WOODBURY CONNECTICUT 06798 (203) 266-0278



### DESIGN DATA

- 1) SYSTEM IS DESIGNED FOR A FIVE (5) BEDROOM HOUSE
- 2) MINIMUM SIZE SEPTIC TANK SHALL BE 1200 GALLONS AS REQUIRED BY THE STATE HEALTH CODE
- 3) SYSTEM IS DESIGNED BASED ON A PERCOLATION RATE OF 1" IN 1-1.50 MINUTES
- 4) MINIMUM SIZE OF LEACHING AREA REQUIRED BY THE STATE HEALTH CODE IS 660 SQUARE FEET
- 5) THE SIZE OF PRIMARY LEACHING AREA PROVIDED IS 50 LINEAR FEET OF GREENLEACH FILTER 62 WITH AN EFFECTIVE LEACHING AREA OF 11.0 SF. FOR A TOTAL EFFECTIVE LEACHING AREA OF 660 SF
- 6) ALL WELLS SHALL BE LOCATED A MINIMUM OF 25 FEET FROM THE LEACHING AREA
- 7) AREA OF LOT IS 22.45 ACRES

### MLSS CALCULATION

DEPTH TO RESTRICTIVE LAYER = 53'  
 HYDRAULIC SLOPE = 41:100  
 HYDRAULIC FACTOR: MFA = 25  
 PERC FACTOR: PFA = 1.0  
 FLOW FACTOR: FFA = 2.0  
 MLSS = (2245) (53) (2) (1.0) / 40' REQUIRED  
 80 PROVIDED  
 THE HYDRAULIC GRADIENT WAS DETERMINED BY MEASURING THE SLOPE OF THE LAND FROM A POINT TO ANOTHER TO A POINT 35' BELOW THE PROPOSED LEACHING TRENCHES

### INVERT ELEVATIONS

HOUSE CONNECTION	614.70
BARN CONNECTION	613.25
SEPTIC TANK - IN	612.75
SEPTIC TANK - OUT	612.50
D-BOX	612.00
LEACHING TRENCH INV	612.00
BOTTOM OF TRENCH	610.50
BOTTOM OF C-33 SAND	610.00

L.A.







### Town of Kent Inland Wetlands Commission

41 Kent Green Blvd.

P.O. Box 678

Kent, CT 06757

Phone: (860)927-4625

Fax: (860)927-4541

FOR OFFICE USE ONLY	
Application #	253-21
Filing fee \$	100
Date of receipt	3/22/12
Approved	
Denied	

Application for a permit to conduct a regulated activity within the regulated area of an inland wetland or watercourse in the Town of Kent.

**ALL APPLICATIONS REQUIRE THE FOLLOWING (APPLICATIONS NOT INCLUDING ALL REQUESTED INFORMATION WILL NOT BE ACCEPTED):**

- A. The original and 8 copies of the completed application form.
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- C. One copy of the completed "Statewide Inland Wetland Activity Reporting Form."
- D. Filing Fee of \$100.00 made out to the Town of Kent.
- E. 8 copies of a site plan and other information noted on the checklist.
- F. List of names and mailing addresses of adjacent land owners.
- G. Field flagging and staking as noted on the checklist.

**1. PROPERTY ADDRESS:**

CORNER OF RICHARDS ROAD AND SPECTACLE RIDGE ROAD

**2. MAP:**

**BLOCK:**

**LOT:**

Spectacle Ridge Association "Commons"

**3. APPLICANT'S INFORMATION:**

Name JENNIFER YOUNGBLOOD

Mailing Address 57 Spectacle Ridge Road, South Kent, CT 06785

City ST ZIP Code

Home Phone 860 927 1054

Work Phone

E-Mail Address jyoungblood1054@gmail.com

**4. OWNER'S INFORMATION:**

Name SPECTACLE RIDGE ASSOCIATION (SRA)

Mailing Address c/o Jennifer Youngblood

City ST ZIP Code 57 SPECTACLE RIDGE ROAD

Home Phone SOUTH KENT CT 06785

Work Phone tel: 860 927 1054

E-Mail Address email: jyoungblood1054@gmail.com

**5. APPLICANT'S INTEREST IN THE PROPERTY:**

<input type="checkbox"/>	Owner
<input type="checkbox"/>	Agent
<input checked="" type="checkbox"/>	Other (please list) SRA home owner (SRA number) i.e.

6. PLEASE PROVIDE THE FOLLOWING INFORMATION: (Please be exact)

~ .2975	TOTAL ACREAGE OF PROPERTY (roughly 12,960 sq. ft)
	TOTAL ACREAGE OF WETLANDS AND/OR WATERCOURSES DISTURBED (sq. ft. divided by 43,560)
	TOTAL ACREAGE OF DISTURBED REGULATED AREA (sq. ft. divided by 43,560)

7. PLEASE DESCRIBE, IN DETAIL, THE PROPOSED ACTIVITY:

(If needed, please attach additional pages.)

please see attached proposal of aerial map

8. PLEASE DESCRIBE ALTERNATIVES CONSIDERED AND STATE WHY THIS PROPOSAL WAS CHOSEN:

9. ARE THERE ANY EASEMENTS OR OTHER ENCUMBRANCES NOTED ON THE PROPERTY DEED FILED AT THE TOWN HALL? IF SO, PLEASE DESCRIBE OR ATTACH.

10. PLEASE CERTIFY WHETHER:

A. Any portion of the property on which the regulated activity is proposed is located within five hundred (500 feet of the boundary of an adjoining municipality.  Yes  No (If yes, the applicant shall give written notice of the application by certified mail, return receipt requested, on the same day to the inland wetlands agency of such other municipality).

B. Traffic attributable to the completed project on the site will use streets within the adjoining municipality to enter or exit the site.  Yes  No

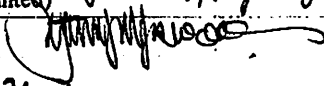
C. Sewer or water drainage from the project site will flow through and impact the sewage or drainage system within the adjoining municipality.  Yes  No

D. Water run-off from the improved site will impact streets or other municipal or private property within the adjoining municipality.  Yes  No

11. AGREEMENT AND SIGNATURE

The undersigned applicant hereby swears that the information supplied in the completed application is accurate, to the best of his/her knowledge and belief and is aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.

Name (printed) JENNIFER YOUNGBLOOD

Signature 

Date 3/22/2021

There are 3 properties adjacent to the Spectacle Ridge Association "Commons" where the Spectacle Ridge Association Tennis Courts are located.

All 3 property owners are Spectacle Ridge Association members:

Toby and Kate Symonds  
6 Spectacle Ridge Road  
South Kent, CT 06785  
860.927.7970

Lopo and Sandrine Champalimaud  
19 Spectacle Ridge Road  
South Kent, CT 06785  
860.927.3945

Kathryn Freygang  
45 Richards Road  
South Kent, CT 06785  
592.0170

4.B

Jennifer Youngblood  
57 Spectacle Ridge Road  
South Kent, CT 06785  
tel: 860.927.1054 | cell: 917.602.3983 | email: jyoungblood1054@gmail.com

22 March, 2021

Town of Kent Wetlands Commission  
41 Kent Green Blvd.  
P.O. Box 678  
Kent, CT 06757

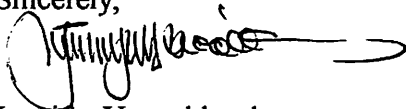
Dear Wetlands Commission,

I am writing on behalf of the Spectacle Ridge Association [SRA] of South Kent. As an association homeowner, I have volunteered to make the necessary inquiries and submit an application for any Wetlands permission that may be required in order for work to commence on rebuilding a pair of existing tennis courts that have fallen into disrepair. SRA has contracted with Oval Tennis Company of Somers, NY to do the work this spring. The tennis courts are located on communal property belonging to Spectacle Ridge Association.

Oval has received confirmation from Joe Manley at Kent's Building Department/Land Use Office that a Building Permit will *not* be required for the proposed work. It was not clear to us whether a Wetlands permit might be required given the nature and/or scope of this work since it is on an existing footprint. However, we felt it prudent to err on the side of caution and are therefore submitting an application for review.

Attached, please find a detailed plan of the proposed work from Oval, the application and a \$100 check for the application made out to the Town of Kent. To the best of my ability, I have provided measurements to any adjacent bodies of water: South Spectacle Pond as well as an unnamed smaller pond. I am at your disposal to meet if an on-site inspection is in order and hope that in the meantime you will not hesitate to get in touch if there is any further information you might require in order to process SRA's request.

Sincerely,



Jennifer Youngblood



A Distance from Spectacle Pond to tennis courts =  
 ~ 438 feet  
 B Distance from smaller pond to tennis courts =  
 ~ 288 feet

South Spectacle Pond

Imagery ©2021 Maxar Technologies, USDA Farm Service Agency, Map data ©2021 200 ft

Smaller unnamed pond

2 existing side by side  
 tennis courts to be repaired/  
 rebuilt at "Spectacle Ridge  
 Association's Commons"  
 Dimensions ~ 120ft X 108ft

4B



**TENNIS**  
ovaltennis.com

P.O. BOX 189 • SOMERS • NY • 10589  
914.248.6825 • Fax 914.248.6824  
Email: info@ovaltennis.com

ASPHALT REBUILD – Both courts

**ACCESS:**

1. Site owner shall designate access route to site, and shall pay any additional costs relating to construction of an access road of sufficient width, breadth and stability to allow passage of ten-wheel dump trucks. Site owner shall pay any costs relating to restoration of access route to previous condition. Note: Oval Tennis crew shall leave clean, raked and seeded with contractor's mix. No specialty seed or sod to be used. Any additional works to the restoration as requested by homeowner will be an additional cost.

**SITE PREPARATION – BOTH COURTS:**

1. Fence will be removed as necessary to allow access to court surface for trucks and equipment. Upon completion of work fence will be re-hung, gates and transoms adjusted.
2. Net posts and their footings will be removed.
3. The existing asphalt surface shall be ground in place utilizing a Caterpillar Reclaimer. Any pieces of asphalt larger than 8" will be removed from site.
4. All excavating, filling, compacting, grading and leveling work required shall be performed so that the finished court surface slopes 1" in 10 feet on a true plane from side to side. Slope to follow existing pitch of court.
5. If additional base stone is required (and approved) or requested (a joint inspection of sub-surface will be scheduled) a change order will be submitted with specifics and related costs. Should additional required repairs be noted by foreman, site owner to be informed if additional costs apply prior to performing works. All works to be performed on the inside of court fence line (unless otherwise noted). Any additional works outside of fence line is considered extraneous and at an extra cost when requested by site owner.
6. **INCLUDED: DRAINAGE:** Recommended Oval Tennis, Inc. shall construct a curtain drain to control ground water and runoff. The drain shall consist of a trench averaging 2 ½' in depth and sloping 1" in 10' in the direction most desirable for disposal of water. The trench shall contain a 4" perforated PVC pipe laid on and covered with 1 ½" stone, entire drain to be wrapped in filter fabric. This estimate includes 180' linear feet of drain, any footage in excess of this amount will be an additional charge to site owner. Pipe shall outlet at daylight. This estimate does not include drywells, pit or pre-casts. Their inclusion, if required by local ordinance, site owner or his agent, will be an additional charge based on time and materials. Excavated material removed from drain (**shall be left onsite**). Drain to be approximately 3' from court perimeter.

**ASPHALT SURFACE –**

1. **INCLUDED:** A base course of at least 4" of N.Y.S. Item 4 (3/4 processed in Connecticut) shall be spread over sub-base in a manner to produce a uniform density and to within plus or minus ½" of final grade. (Quarry stone item 4).
2. **OPTIONAL:** A 6" sub-base of 1 ½" (or, 1 ¼" in CT) quarry stone shall be spread over sub-grade in a manner to within plus or minus 1" of final grade. Decision on 1 ¼ stone to be made by Spectacle Ridge representative after asphalt is ground in place exposing subbase. Oval to make recommendation as to desirability of additional stone.

- 3. A leveling course of hot plant asphalt having a maximum aggregate size of 3/4" shall be constructed over the base course in a manner to produce a compacted thickness of 1 1/2" and to within plus or minus 1/4" of final grade.
- 4. A surface course of hot plant asphalt having a maximum aggregate size of 1/4" shall be constructed over the leveling course in a manner to produce a compacted thickness of 1 1/2" and to within plus or minus 1/8" final grade.

**COLOR FINISH: NOVACRYLIC COMBINATION SURFACE-**

- 1. Final Surface Inspection: Prior to application of a color finish system the court shall be flooded with water and allowed to drain. A depression holding water deeper than 1/8" shall be patched and leveled with acrylic cement. **Note: Site owner must supply water source adjacent to courts for flooding of court, paving, pressure washing and tool maintenance.**
- 2. The entire surface will be coated with two coats of acrylic resurfacer (NovaSurface®) to fill pavement voids, correct minor surface irregularities and to seal existing surface. *NovaSurface*. **Note: Recently the incidence of aggregate utilized to manufacturer asphalt containing trace amounts of iron (pyrite) has increased. Neither the asphalt plants nor Oval Tennis has control of iron in the asphalt mix. If the asphalt does contain iron, small rust spots may appear in the acrylic color. These do not affect play, but appear as surface stains.**
- 3. Two coats of a colored, acrylic base emulsion containing inorganic fillers shall be applied with squeegees to establish a color base – *Nova Combo*
- 4. None of the color finished coats shall be applied to a damp surface, when rain is imminent, or when temperature is below 55 degrees. **Note: Some squeegee marks will be visible especially when looking into the sun.**

**PLAYING LINES: 1 COAT OF SEAL-A-LINE; 2 COATS OF NOVATEX (LINE PAINT)**

- 1. Base lines shall be not more than 4" wide and playing lines not more than 2" wide, accurately located and marked in accordance with the rules of the United States Lawn Tennis Association. Lines shall be treated with Nova Seal-a-Line and two (2) coats of *Novatex* white, water base paint especially formulated for striping tennis courts.
- 2. **ONE SET: Pickleball lines:** Base lines shall be not more than 2" wide and playing lines not more than 1 1/2" wide, accurately located and marked in accordance with the rules of the USAPA. Lines shall be treated with Nova Seal-a-Line and two (2) coats of "related color shadow lines," water base acrylic.

**FENCE OPTION I: (OPTIONAL)**

- 1. **INCLUDED:** Adjust all gates replacing hinges, fork latches and rail ends (for transoms) as necessary.
- 2. **OPTIONAL:** Install bottom cable; Around entire perimeter of court. Cable is attached to terminal poles with brace bands, to line poles with aluminum fence ties, and to fence mesh with vinyl coated hog rings.
- 3. **OPTIONAL:** Alternate to bottom cable; Around entire perimeter of court install 1 5/8" black, vinyl clad 5520 rail. Rail is attached to terminal poles with brace bands and rail ends and to line poles with boulevards.

OVAL TENNIS, INC.

ASPHALT PARTIAL REBUILD

- 4. **OPTIONAL:** Remove existing mesh and stock pile for reuse. Upon completion of painting, mesh will be rehung utilizing new hog rings, fence ties and fittings (rail ends, brace band, tension bands) as required. All fittings to be spray painted, black. Wire brush and hand-scrape poles to remove chipping paint. Line and corner posts shall be painted with two coats of rust inhibitor paint - black. *Please Note: Though care will be exercised, some paint drip is inevitable. Painted posts are more likely to chip than vinyl clad posts and do not generally present as "finished" in appearance on close inspection.*

**FENCE OPTION II: (OPTIONAL)**

- 1. Two 40' sections of new black vinyl clad fence will be installed dividing the rebuilt asphalt court from the grass area.
- 2. Fence will be 10' in height with approximately 40' open at center of 120' line.

**NET AND EQUIPMENT:**

- 1. New post foundations shall be not less than 24" in diameter at the top, not less than 30" in diameter at the bottom, and not less than 36" in depth. Foundations shall be so situated as to provide a clear distance between posts of 42'. Foundations shall be so designed and poured and the posts so set as not to cause cracking or other damage to the finished court surface.
- 2. Net posts shall be galvanized steel and shall be equipped with ratchet type net tightening device for nonmetallic nets. Posts shall be set plumb and true so as to support the net at a height of 42" above the court surface, at the net posts.
- 3. A center strap anchor shall be set in concrete footings measuring 12" by 12".
- 4. Two tennis nets measuring 42' long and 42" wide and otherwise conforming to regulations of the United States Lawn Tennis Association shall be provided.
- 5. Oval Tennis to supply, assemble and deliver (1) Rol-Dri unit.
- 6. Oval Tennis shall paint existing basketball pole and supply basketball net.

**INSURANCE:**

- 1. Oval Tennis, Inc. shall provide reasonable and adequate insurance and include the cost thereof in the contract sum.

**GUARANTEE:**

- 1. Oval Tennis, Inc. guarantees its *workmanship* for a period of three years from date of completion. Oval Tennis, Inc. cannot guarantee results on a pre-existing court due to unknown construction specification, materials and procedures utilized in initial court installation unless court originally installed by Oval Tennis, Inc. Effective workmanship assumes that proper base has been installed including, but not limited to, proper drainage and correct sub base materials.
- 2. *Multiple applications of acrylic increase possibility of acrylic bubbling, especially in presence of significant ground water. This occurs when subsurface moisture is vaporized by solar heat and cannot escape rapidly enough thru the acrylic coating.* Proper drainage is required to remove subsurface water from settling under the courts; drainage at courts is unknown at this time. Oval Tennis cannot be responsible for subsurface water which may freeze and cause cracking in asphalt surface.



- 3. Recently the incident of aggregate (stone) utilized to manufacturer asphalt contains trace amounts of iron have increased. Neither the asphalt plants nor Oval Tennis has control of iron in the asphalt mix. If the asphalt does contain iron, small rust spots may appear in acrylic color. These do not affect play, but appear as surface stains.

**CONDITIONS:**

- 1. Property owner must ensure that landscape sprinklers do not reach court during scheduled repairs. Repair of damage caused by sprinkler system operation will advance completion date and be an additional charge based on time and material.
- 2. Court color(s) must be indicated on signed contract. Any changes to final color after acrylic application has begun will be invoiced at \$1,200. per additional surfacing layer. Chips on color chart are actual samples of paint provided by Nova Sports USA, however, disparity between chip size and court size as well as ambient light conditions will affect color perception.

**PERMITS AND TAXES:**

- 1. The site owner shall obtain and pay all construction permits, fees, licenses, etc. as may be required by law. Oval Tennis, Inc's. contract sum shall include such federal, state and local taxes as may be applicable to the performance of the contract.
- 2. Oval Tennis, Inc. will work (court surface reconstruction) within existing court corners (fence posts, corner stakes, survey markers) and we will not alter size or shape of the existing court surface, or be held accountable for existing dimensions, location, or orientation. Should an incongruity become evident Oval Tennis will report same to site owner. Should site owner or their representative request modification of existing court footprint the site owner shall pay for all permits, fees, licenses and surveys as may be required by law. *New asphalt will also follow the direction of existing slope. Should slope require an alteration in direction, an additional charge for the necessary materials will apply. Altering the existing slope of the court will also affect the height of court's high side and curb may be needed to hold in materials. Note: Fence height may be altered by additional stone layers. Overall fence height will decrease due to new court surface elevation.*

**COMPLETION DATE:**

- 1. Work to begin within three weeks of approval and granting of building permits if applicable.
- 2. Completion date projected within six weeks. This allows for a hiatus of three weeks after completion of second asphalt layer to allow court to weather. During this period temporary lines will be installed and the court will be available for play.
- 3. Completion date contingent upon any strikes, accidents or delays beyond the control of Oval Tennis, Inc.

4.B

19 April, 2021

Dear Members of the Wetlands Commission,

I am furnishing supplemental information to the application that was turned in on behalf of Spectacle Ridge Association on 3/22 outlining the rebuild of SRA's existing two tennis courts.


Inlands Wetland Map: The location of the existing tennis courts is shown on this map. From what I gather, the north-facing side of the courts is ample distance from South Spectacle Pond itself, however, some wetlands do exist 20+ feet from the courts in the intervening woods. The contractor will ring the north/east side of the courts with silt fencing as a precaution during construction.

A few invasive bushes have been identified along that same north-facing perimeter fencing, uphill from the wetlands. We would be happy to have these removed as a part of this project if it were advisable.

Street Access to the site: The contractor will lay down gravel over silt cloth on the eastern side of the courts [show on diagram] in order for their equipment to access the courts from the existing dirt/gravel road that leads to the South Spectacle Pong parking area.

I apologize for the less than professional nature of these maps/drawings. I simply thought anything that might make the site location a little clearer could be helpful.

Many thanks for your consideration,

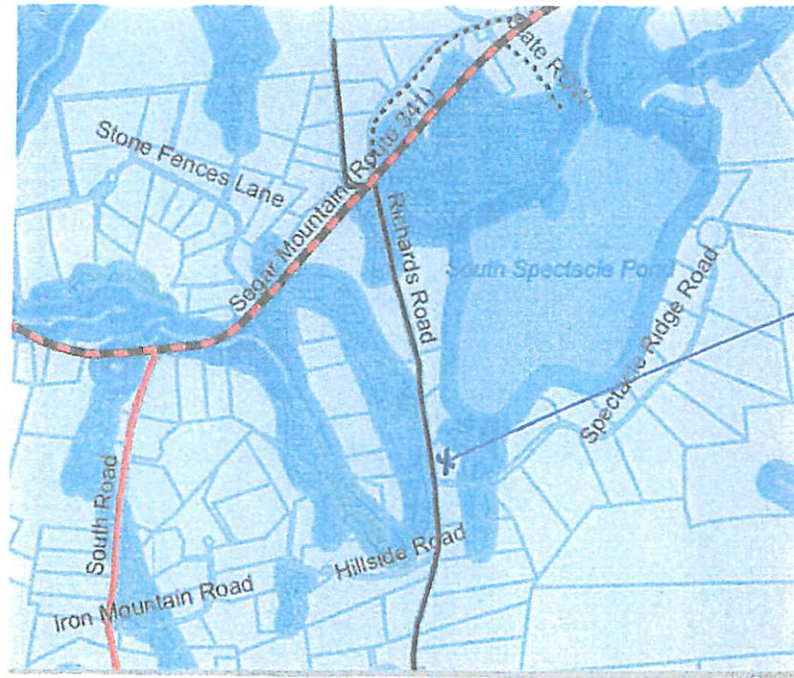


Jennifer Youngblood  
57 Spectacle Ridge Road  
South Kent, CT 06785

tel: 860.927.1054

4.B

Wetlands  
Map:



Lot location of  
Spectacle Ridge Assoc.  
tennis courts

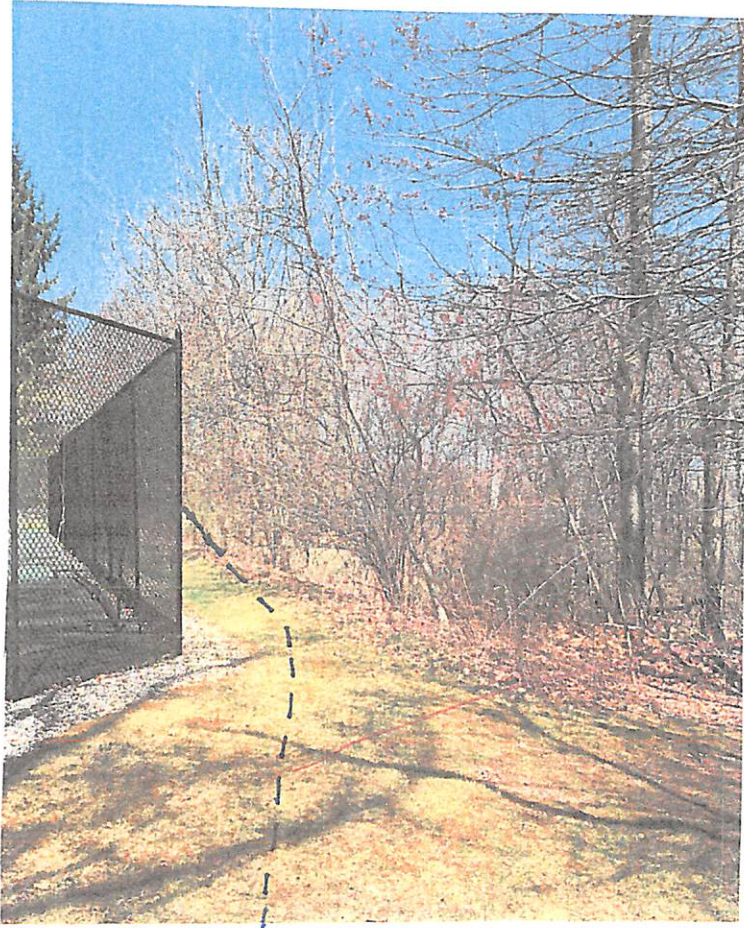
South East  
Corner view of  
access to existing  
tennis courts.



tennis house

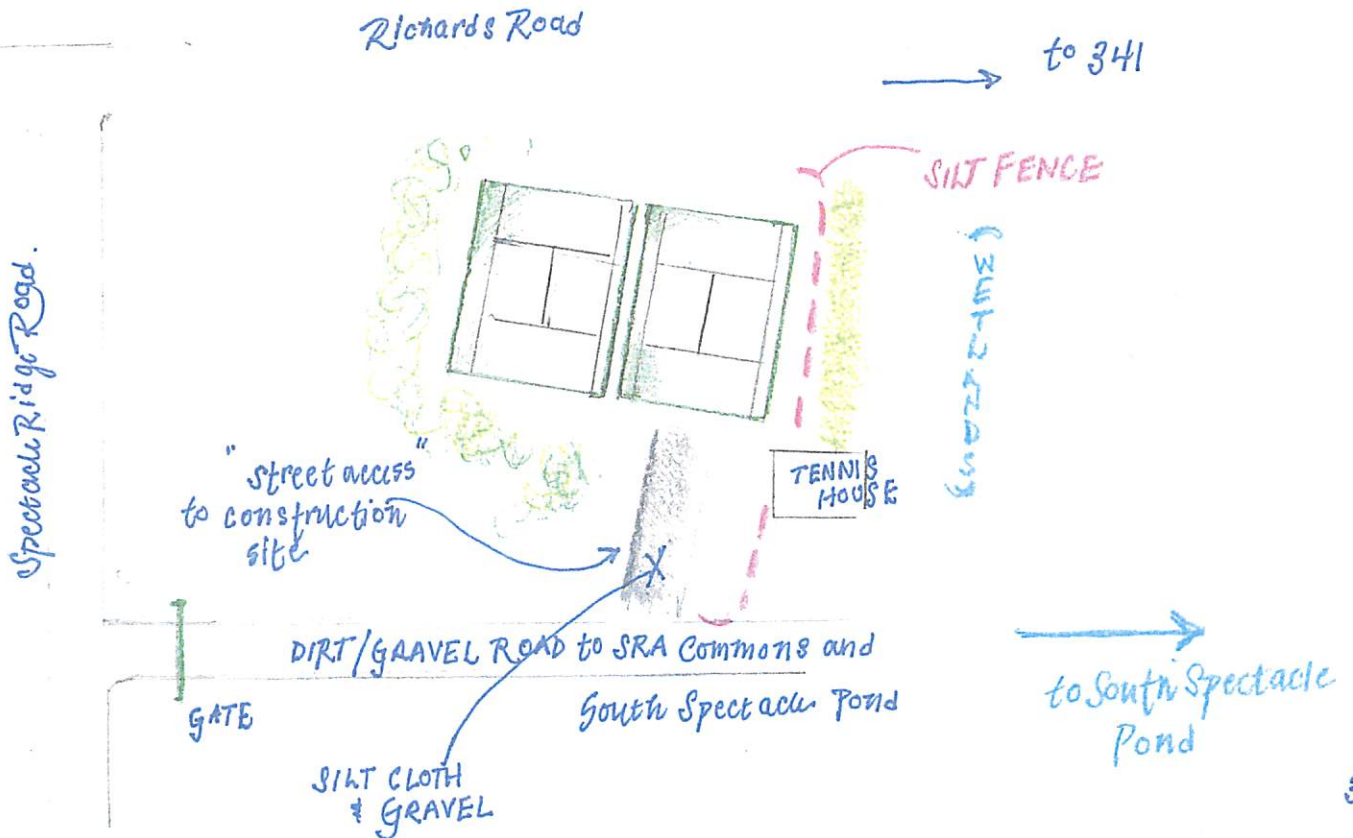
"street access"  
from dirt roads

4.B



North East corner view of tennis court.

SILT FENCE





# Town of Kent Inland Wetlands Commission

41 Kent Green Blvd.

P.O. Box 678

Kent, CT 06757

Phone: (860)927-4625

Fax: (860)927-4541

FOR OFFICE USE ONLY
Application # <u>1255-21</u>
Filing fee \$ _____
Date of receipt _____
Approved _____
Denied _____

Application for a permit to conduct a regulated activity within the regulated area of an inland wetland or watercourse in the Town of Kent.

**ALL APPLICATIONS REQUIRE THE FOLLOWING (APPLICATIONS NOT INCLUDING ALL REQUESTED INFORMATION WILL NOT BE ACCEPTED):**

- A. The original and 8 copies of the completed application form.
- B. If the applicant is not the owner of the property, a letter of consent from the owner authorizing the applicant to act as the owner's agent.
- C. One copy of the completed "Statewide Inland Wetland Activity Reporting Form."
- D. Filing Fee of \$100.00 made out to the Town of Kent.
- E. 8 copies of a site plan and other information noted on the checklist.
- F. List of names and mailing addresses of adjacent land owners.
- G. Field flagging and staking as noted on the checklist.

### 1. PROPERTY ADDRESS:

99A COBBLE ROAD

### 2. MAP:            BLOCK:            LOT:

10            22            1

### 3. APPLICANT'S INFORMATION:

Name	BRIAN NEFF, P.E.
Mailing Address	128 BACON RD.
City ST ZIP Code	ROXBURY, CT. 06783
Home Phone	
Work Phone	(860) 354-2246
E-Mail Address	BNEFFPE@GMAIL.COM

### 4. OWNER'S INFORMATION:

Name	AKAI ASSOCIATES, LLC
Mailing Address	126 SAINT MARKS AVE.
City ST ZIP Code	BROOKLYN, NY. 11217
Home Phone	
Work Phone	
E-Mail Address	

### 5. APPLICANT'S INTEREST IN THE PROPERTY:

<input type="checkbox"/>	Owner
<input checked="" type="checkbox"/>	Agent
<input type="checkbox"/>	Other (please list)

4C

6. PLEASE PROVIDE THE FOLLOWING INFORMATION: (Please be exact)

6.81	TOTAL ACREAGE OF PROPERTY
0	TOTAL ACREAGE OF WETLANDS AND/OR WATERCOURSES DISTURBED (sq. ft. divided by 43,560)
0.7	TOTAL ACREAGE OF DISTURBED REGULATED AREA (sq. ft. divided by 43,560)

7. PLEASE DESCRIBE, IN DETAIL, THE PROPOSED ACTIVITY:

(If needed, please attach additional pages.)

DEMOLITION OF EXISTING HOUSE AND CONSTRUCTION OF NEW HOUSE IN THE SAME VICINITY. REPLACEMENT OF EXISTING SEPTIC SYSTEM. REFER TO THE "SOIL EROSION & SEDIMENT CONTROL PLAN".

8. PLEASE DESCRIBE ALTERNATIVES CONSIDERED AND STATE WHY THIS PROPOSAL WAS CHOSEN:

OTHER DEVELOPMENT SITES CLOSER TO WETLANDS AND WATERCOURSE WERE CONSIDERED.

9. ARE THERE ANY EASEMENTS OR OTHER ENCUMBRANCES NOTED ON THE PROPERTY DEED FILED AT THE TOWN HALL? IF SO, PLEASE DESCRIBE OR ATTACH.

No

10. PLEASE CERTIFY WHETHER:

- A. Any portion of the property on which the regulated activity is proposed is located within five hundred (500 feet of the boundary of an adjoining municipality.  Yes  No (If yes, the applicant shall give written notice of the application by certified mail, return receipt requested, on the same day to the inland wetlands agency of such other municipality).
- B. Traffic attributable to the completed project on the site will use streets within the adjoining municipality to enter or exit the site.  Yes  No
- C. Sewer or water drainage from the project site will flow through and impact the sewage or drainage system within the adjoining municipality.  Yes  No
- D. Water run-off from the improved site will impact streets or other municipal or private property within the adjoining municipality.  Yes  No

11. AGREEMENT AND SIGNATURE

The undersigned applicant hereby swears that the information supplied in the completed application is accurate, to the best of his/her knowledge and belief and is aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.

Name (printed) BRIAN HEFF, AUTHORIZED AGENT

Signature [Signature]

Date 4-19-2021

LC

TO: Kent Land Use Commissions  
FROM: Akai Associates, LLC, Property Owner  
99A Cobble Road  
Kent, Connecticut

We hereby authorize Engineer Brian Neff to act as our authorized agent to apply for permits and provide technical representation at the commission meetings regarding the proposed construction on the 99A Cobble Road property.

04/19/21

Date

*Avani Kadakia*

Signature

04/19/21

Date

*Arjun Patel*

Signature

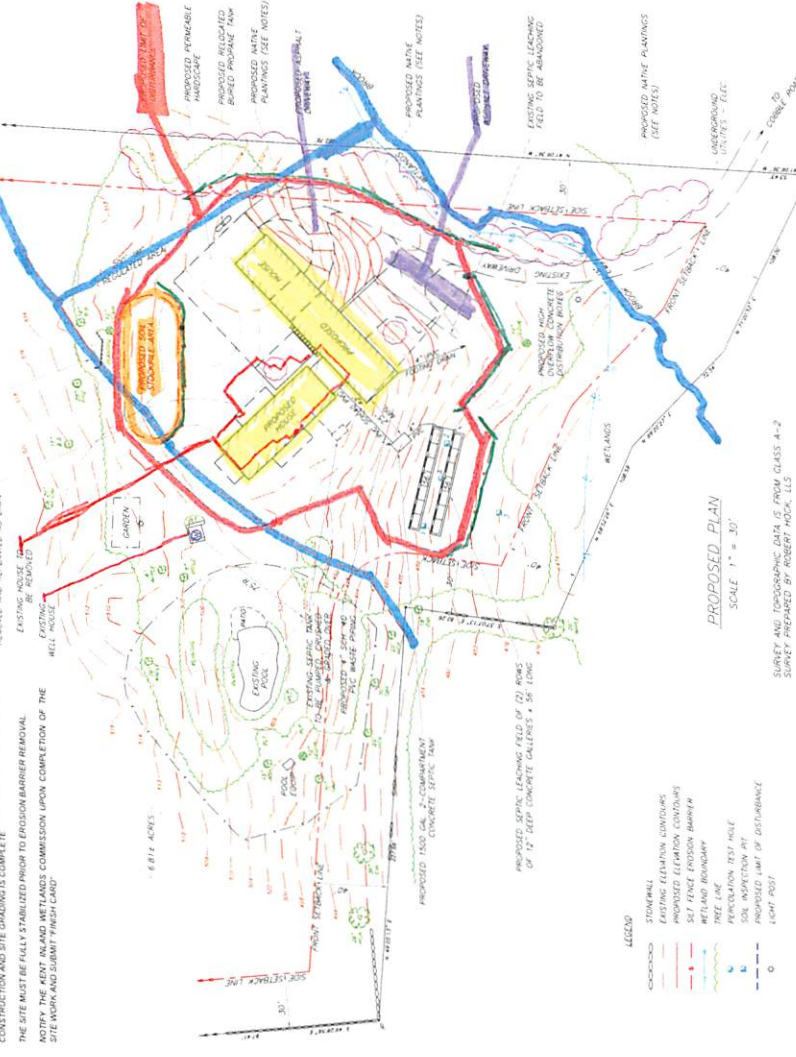
PROJECT NARRATIVE DESCRIPTION  
 THE PROJECT CONSISTS OF THE DEMOLITION AND RECONSTRUCTION OF A SINGLE FAMILY DWELLING, DRIVEWAY, SEWING AND SEPTIC SYSTEM INSTALLATION ON A 6.81 ACRE LOT AT 94 COBBLE ROAD IN KENT CONNECTICUT.  
 THE PROPERTY IS AN INTERIOR LOT WITH SHARED DRIVEWAY ACCESS PRESSURE SEWERAGE AND SEPTIC TANK. THE EXISTING SEPTIC SYSTEM INCLUDES A SEPTIC SYSTEM WELL AND DRIVEWAY. THERE ARE SOME WETLANDS IN THE NORTHWEST CORNER OF THE PROPERTY. THE PROPOSED DRIVEWAY WILL BE CONSTRUCTED NORTHWEST OF THE EXISTING DRIVEWAY. THE HOUSE IS TO BE BUILT IN THE SAME LOCATION AS THE EXISTING WITH AN APPROXIMATELY 20% INCREASE IN FOOTPRINT. A NEW SEPTIC SYSTEM IS PROPOSED TO REPLACE THE EXISTING. NATIVE PLANTINGS ARE PROPOSED TO BE REPLACED WITH NATIVE PLANTINGS. THE PROPOSED CONSTRUCTION IS PROPOSED WITHIN ANY WETLAND OR WATERCOURSE BUT THE SITE WORK IS IN THE INLAND WETLANDS COMMISSION REGULATED AREA WITHIN 200 FEET OF THE WATERCOURSE.  
 PROPOSED SITE CONSTRUCTION EQUIPMENT CONSIGTS OF TRACKED EXCAVATOR, BACKLOADER, LOADER AND TRACTORS.  
 THE PROPOSED PROJECT WILL BE CONSTRUCTED IN SEVERAL STAGES TO PREVENT EROSION AND SEDIMENT FROM THE CONSTRUCTION INTO THE WETLANDS AND WATERCOURSE LOCATED DOWN-GRABE OF THE PROPOSED CONSTRUCTION. EROSION CONTROL BARRIERS ARE TO BE INSTALLED DOWN-GRABE OF CONSTRUCTION AREA.  
 THE PROPOSED START OF CONSTRUCTION IS DURING THE SPRING OF 2021 WITH COMPLETION BY THE END OF THE YEAR.  
 THE RECOMMENDED MAINTENANCE PROGRAM FOR EROSION CONTROL CONSISTS OF INSPECTIONS ON A WEEKLY BASIS OR AFTER HEAVY RAINFALL FOR DAMAGE AND CLOGGING. ALL DAMAGE AND CLOGGING SHALL BE REPAIRED IMMEDIATELY. THE MAINTENANCE PROGRAM SHALL BE MONITORED FOR ENSURING COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN.

PROPOSED MATRIEX MATINGS NOTES  
 1. ALL PLANT MATERIAL WILL BE NATIVE VARIETIES  
 2. INVASIVE SPECIES WILL BE REMOVED WHEN LOCATING NEW PLANTINGS WHERE FEASIBLE  
 3. PLANTING WILL BE BY AUGER OR HAND DIGGING TO MINIMIZE SITE DISTURBANCE  
 4. ALL WORK ZONES WILL BE PROTECTED BY APPROVED SOLECEDIMENTATION REQUIREMENTS  
 5. GROUND PLANTS WILL BE PLANTED OR MULCHED TO PREVENT EROSION  
 6. EXACT PLANT LOCATIONS SUBJECT TO ROCK OUTCROPPINGS, LEGS AND COORDINATION WITHIN EXISTING TREES.

NOTES  
 LOT SIZE 6.81 ACRES  
 TAX ASSESSOR MAP ID BLOCK 25 LOT 1  
 ZONING DISTRICT R-1 (RURAL RESIDENTIAL DISTRICT)  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. THIS RESPONSIBILITY INCLUDES THE OBTAINMENT OF ALL NECESSARY PERMITS AND THE OBTAINING OF ALL NECESSARY INSURANCE POLICIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THE OBTAINING OF ALL NECESSARY INSURANCE POLICIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THE OBTAINING OF ALL NECESSARY INSURANCE POLICIES.  
 THE MATERIAL SPECIFICATIONS, INSTALLATION REQUIREMENTS AND DETAILS AND MAINTENANCE PROCEDURES FOR SOIL EROSION AND SEDIMENT CONTROL MEASURES ARE INCLUDED AS A PART OF THIS PLAN. THE INFORMATION IS FROM THE EROSION CONTROL MANUAL (REVISED 2002) BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.  
 ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AT THE DISCRETION OF THE TOWN WETLANDS ENFORCEMENT OFFICER OR THE DESIGN ENGINEER BASED UPON SITE CONDITIONS.  
 PROPERTY OWNER: AMM ASSOCIATES, LLC

SOIL EROSION & SEDIMENT CONTROL PLAN	
HOUSE RECONSTRUCTION	
DATE	4-15-2021
DESIGNED BY	BRIAN E. NEFF LICENSED ENGINEER ROXBURY, CT 06283
DRAWN BY	B.E. NEFF
PROJECT NUMBER	(860) 354-2246
SHEET	1 OF 1

PROPOSED SEQUENCE OF CONSTRUCTION  
 CALL 1-800-922-4455 "CALL BEFORE YOU DIG" TO LOCATE ALL UNDERGROUND UTILITIES.  
 INSTALL SILT FENCE BARRIER AROUND THE DOWN-GRADIENT SIDE OF THE EXISTING HOUSE.  
 NOTIFY THE KENT INLAND WETLANDS COMMISSION OFFICE AND SUBMIT "START CARD" PRIOR TO THE START OF WORK. WORK MAY BEGIN AFTER WETLAND ENFORCEMENT OFFICER INSPECTION AND APPROVAL.  
 DEMOLISH EXISTING HOUSE AND REMOVE DEBRIS FROM THE SITE.  
 STRIP TOPSOIL FROM BUILDING SITE AND STOCKPILE.  
 EXCAVATE FOR BUILDING FOUNDATION AND STOCKPILE SOIL IN ADJACENT AREA.  
 INSTALL CONCRETE FOUNDATION FOOTINGS AND WALLS.  
 INSTALL FOUNDATION DRAINAGE AND BACKFILL.  
 CONSTRUCT WOOD FRAMED BUILDING.  
 INSTALL MATRIEX PLYSTIM.  
 INSTALL MATRIEX PLANTINGS BETWEEN DRIVEWAY AND SOUTHWEST PROPERTY LINE.  
 TOPSOIL, MAKE SEED AND MOW MATCH THE DISTURBED SOIL AREAS IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL".  
 INSTALL FRESH SURFACE COURSE ONTO THE DRIVEWAY. AFTER ALL BUILDING CONSTRUCTION AND SITE GRADING IS COMPLETE.  
 THE SITE MUST BE FULLY STABILIZED PRIOR TO EROSION BARRIER REMOVAL.  
 NOTIFY THE KENT INLAND WETLANDS COMMISSION UPON COMPLETION OF THE SITE WORK AND SUBMIT FINISH CARD.



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 NOTIFY THE KENT INLAND WETLANDS COMMISSION UPON COMPLETION OF THE SITE WORK AND SUBMIT FINISH CARD.

EROSION CONTROL REQUIREMENTS  
 THE FOLLOWING SPECIFICATIONS FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL BE OBTAINED FROM THE CONNECTICUT EROSION AND SEDIMENT CONTROL MANUAL (REVISED 2002) BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.  
 (FILTER FENCE SILT FENCE)  
 1) MATERIALS  
 (A) SYNTHETIC FILTER FABRIC  
 SYNTHETIC FILTER FABRIC SHALL BE A PEROXIDE SHEET OF PROPYLENE NYLON POLYESTER OR ETHYLENE FLUORIDES AND SHALL BE CERTIFIED BY THE MANUFACTURER TO BE COMPLIANT WITH THE FOLLOWING REQUIREMENTS:  
 - TENSILE STRENGTH: 75% (MIN.)  
 - ELONGATION: 20% (MAX.)  
 - FLOW RATE: 0.3 GAL/SQ. FT. (MIN. (MML))  
 - FABRIC SHALL BE 10 GAUGE PER SQUARE YARD (MML)  
 (B) FILTER FABRIC INSTALLATION REQUIREMENTS:  
 POSTS FOR FILTER FABRIC SHALL BE EITHER 2" OR 3" INCH STUCCO OR 3/4" POLARIS (MINIMUM PER LINEAR FOOT) STEEL WITH A MINIMUM LENGTH OF 4 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.  
 SOME SILT FENCES REQUIRE A WIRE BARRIER. CONSULT MANUFACTURERS FOR THIS SPECIFIC BARRIER UTILIZED EXTRA STRENGTH SYNTHETIC FILTER FABRICS.  
 THE FILTER FABRIC SHALL BE STAPLED, WROUGHT OR OVERLAP AND FLOWS ARE EXPECTED IN SPECIAL CASES IT MAY BE USED IN DOWNHILLS.  
 (C) THE HEIGHT OF THE BARRIER SHALL NOT EXCEED 36 INCHES (HIGHER THAN 36 INCHES SHALL BE APPROVED BY THE TOWN ENGINEER).  
 (D) THE FILTER FABRIC SHALL BE PLACED TO FEET AWAY FROM THE TOE OF SLOPE.  
 (E) WHEN JOINTS ARE NECESSARY FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6" OVERLAP AND SECURED TOGETHER WITH MANUFACTURER'S RECOMMENDATIONS.  
 (F) LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES).  
 (G) A FRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES WIDE AND 8 INCHES DEEP ALONG THE LINE OF POSTS AND UPFLOW FROM THE BARRIER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.  
 (H) WITH FINISH OF THE FABRIC EXTENDING INTO THE TRENCH.  
 (I) THE FABRIC SHALL BE STAPLED, WROUGHT OR TIED DIRECTLY TO THE FILTER FABRIC.  
 (J) THE FABRIC SHALL BE REMOVED IMMEDIATELY AFTER EACH RAINFALL REPAIRS SHALL BE MADE IMMEDIATELY.  
 (K) SHOULD THE FABRIC DISCOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY THE FABRIC SHALL BE REPLACED IMMEDIATELY.  
 (L) APPROXIMATELY ONE-HALF THE PERCENT OF THE BARRIER.  
 (M) ANY REMOVED PORTIONS OF THE BARRIER SHALL BE REINSTALLED TO THE EXISTING GRADE, PREPARED AND SEEDING.

PROPOSED PLAN  
 SCALE 1" = 30'  
 SURVEY AND TOPOGRAPHIC DATA IS FROM CLASS A-2 SURVEY PREPARED BY ACEERY HOOK, LLC  
 WETLANDS WERE DELINEATED ON-SITE BY JAY FAY  
 BUILDING DATA IS FROM BRENT BRICK ARCHITECTS P.L.L.C.

EXISTING HOUSE TO BE REMOVED  
 EXISTING DRIVEWAY SECTION TO BE REMOVED AND REPLACED AS LUMP  
 EXISTING SEPTIC TANK TO BE REMOVED  
 PROPOSED SEPTIC TANK  
 PROPOSED MATRIEX PLANTINGS (SEE NOTES)  
 PROPOSED NATIVE PLANTINGS (SEE NOTES)  
 UNDERPASSING UNITS (E.G.)  
 PROPOSED NATIVE PLANTINGS (SEE NOTES)  
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LEGEND  
 STONE WALL  
 EXISTING ELEVATION CONTOURS  
 SILT FENCE EROSION BARRIER  
 WETLAND BOUNDARY  
 TREE LINE  
 PERCOLATION TEST HOLE  
 SOIL INSPECTION PIT  
 PROPOSED LIMIT OF DISTURBANCE  
 LIGHT POST



EXISTING HOUSE TO BE REMOVED  
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 PROPOSED SEPTIC TANK (SEE NOTES)



Original

AGENDA ITEM 4.D



### Town of Kent Inland Wetlands Commission

41 Kent Green Blvd.

P.O. Box 678

Kent, CT 06757

Phone: (860)927-4625

Fax: (860)927-4541

FOR OFFICE USE ONLY
Application # 1256-21
Filing fee \$ 100
Date of receipt 4/20/21
Approved _____
Denied _____

Application for a permit to conduct a regulated activity within the regulated area of an inland wetland or watercourse in the Town of Kent.

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- C. One copy of the completed "Statewide Inland Wetland Activity Reporting Form."
- D. Filing Fee of \$100.00 made out to the Town of Kent.
- E. 8 copies of a site plan and other information noted on the checklist.
- F. List of names and mailing addresses of adjacent land owners.
- G. Field flagging and staking as noted on the checklist.

**1. PROPERTY ADDRESS:**

560 Skiff Mountain Rd

2. MAP: 7    BLOCK: 18    LOT: 2

**3. APPLICANT'S INFORMATION:**

Name Michael Dunne  
Mailing Address PO Box 191  
City ST ZIP Code Kent CT 06757  
Home Phone (845)612-6807  
Work Phone (860)898-0828  
E-Mail Address KentMarketGarden@Gmail.com

**4. OWNER'S INFORMATION:**

Name Jerry & Gail Tobin  
Mailing Address 575 Skiff Mountain Rd  
City ST ZIP Code Kent CT 06757  
Home Phone (860)927-3126  
Work Phone N/A  
E-Mail Address JGTobin1@gmail.com

**5. APPLICANT'S INTEREST IN THE PROPERTY:**

<input type="checkbox"/>	Owner
<input type="checkbox"/>	Agent
<input checked="" type="checkbox"/>	Other (please list) Lessee

4D

6. PLEASE PROVIDE THE FOLLOWING INFORMATION: (Please be exact)

39.16	TOTAL ACREAGE OF PROPERTY
0	TOTAL ACREAGE OF WETLANDS AND/OR WATERCOURSES DISTURBED (sq. ft. divided by 43,560)
2	TOTAL ACREAGE OF DISTURBED REGULATED AREA (sq. ft. divided by 43,560)

7. PLEASE DESCRIBE, IN DETAIL, THE PROPOSED ACTIVITY:

(If needed, please attach additional pages.)

See attached sheet

8. PLEASE DESCRIBE ALTERNATIVES CONSIDERED AND STATE WHY THIS PROPOSAL WAS CHOSEN:

See attached sheet

9. ARE THERE ANY EASEMENTS OR OTHER ENCUMBRANCES NOTED ON THE PROPERTY DEED FILED AT THE TOWN HALL? IF SO, PLEASE DESCRIBE OR ATTACH.

None

10. PLEASE CERTIFY WHETHER:

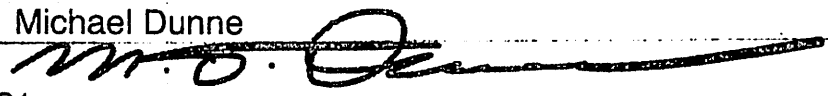
- A. Any portion of the property on which the regulated activity is proposed is located within five hundred (500 feet of the boundary of an adjoining municipality.  Yes  No (If yes, the applicant shall give written notice of the application by certified mail, return receipt requested, on the same day to the inland wetlands agency of such other municipality).
- B. Traffic attributable to the completed project on the site will use streets within the adjoining municipality to enter or exit the site.  Yes  No
- C. Sewer or water drainage from the project site will flow through and impact the sewage or drainage system within the adjoining municipality.  Yes  No
- D. Water run-off from the improved site will impact streets or other municipal or private property within the adjoining municipality.  Yes  No

11. AGREEMENT AND SIGNATURE

The undersigned applicant hereby swears that the information supplied in the completed application is accurate, to the best of his/her knowledge and belief and is aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.

Name (printed) Michael Dunne

Signature



Date 4/19/21

4D



**TOWN OF KENT  
INLAND WETLANDS COMMISSION**

**PERMISSION FOR INSPECTION**

Property Address:	560 Skiff Mountain Rd, Kent CT 06757
Map/Block/Lot:	7/18/2
Application/Permit #:	

The undersigned applicant hereby consents to necessary and proper inspections of the above-mentioned property by the Inland Wetlands Commission and/or its authorized agents, at reasonable times, both before and after the permit in question has been granted by the Commission.

Name (printed)	Michael Dunne
Signature	
Date	4/19/21

## 7. Proposed Activity

Kent Market Garden is a small scale no dig/no till sustainable organic farm. We will be growing a large variety of produce, fruit, cut flowers and poultry products. The following is a detailed description of the scope of work and future projects that will take place on the farm and in the upland review area.

### Year 1:

In Field A (as indicated on the Site Plan) we plan to establish a planting area consisting of 4 planting blocks. Each planting block will measure 38' 4" by 100'. The third and fourth planting blocks will be separated by a native pollinator/beneficial insect habitat with a path on either side. Since we are a no till no dig farm the planting blocks will be established by amending the area then detaching the planting blocks and covered with cardboard and approximately 3" of organic compost. The fields will be laid in an east to west direction and the eastern most side will be 200' from the watercourse that separates Field A and Field B. Two 14' x 100' moveable tunnels will be used in the planting area. Field A consists of Paxton and Montauk fine sandy loam and Field B consists of Paxton and Montauk fine sandy loam and Charlton-Chatfield complex.

A temporary deer fence will be installed that will encompass a ½ acre+. The ½ acre will consist of the established planting blocks and 2 additional planting blocks that will be set up for use in the immediate future. This fence will be constructed with steel angle iron posts that will be driven into the ground with a hand held post driver. The posts will hold a 7.5' heavy duty plastic mesh deer fence. Depending on nuisance wildlife pressure, an electrified fence may be installed on the outside of the deer fence. An above ground irrigation system will be installed and utilized when necessary.

Included in the lease agreement the barnyard and two out buildings will be utilized for farm activities. The barnyard lies to the north of the center of Field A and includes an approximate 90'x 50' area lined with the old Dairy Barn to the North, the small Ice/Milk house to the West and the old foundation of the Bull Barn to the East.

The Milk House will house a wash/pack room and will utilize an existing floor drain that runs to a dry well in the barnyard. Root vegetables will be cleaned in the barnyard by a high pressure hose on a table with a mesh top and the water will run to the dry well in the barnyard. An enclosed trailer will be kept onsite and will be used as a portable walk-in cooler.

We will have approximately 65 laying hens that will be pastured and rotationally grazed around Field A grazing on pasture and aiding to prepare the land for future expansion. The hens will be housed in a portable Hen House that will be encircled by a 100' moveable solar powered electrified fence. The hens will be rotated to a new location in the field every couple of days to supply fresh pasture and to prevent manure build up. We will use roll away nest boxes to decrease or eliminate the necessity of having to clean the eggs and the eggs will be collected daily, cleaned if necessary and housed in a refrigerator in the ice house.

#### Future expansion:

Depending on consumer demand and sales we plan to expand the fields in the future and possibly build a larger wash pack facility on the existing foundation of the old bull barn on the East side of the barnyard. The new fields will include at least 1 large (approximately 30'x100') high tunnel and a small nursery greenhouse. The high tunnel will most likely require concrete footings and will be installed within the upland review area.

We will also upgrade the deer fence and will appeal the zoning board showing hardship due to the amount of lost revenue by not being able to profit off of the valuable agricultural land within the setbacks. The fence will be on the property lines to the south and west. As well as along the field edge to the north. The current set back areas will be planted with fruit trees, berry crops, cut flowers and vegetables. On the east side, the fence will be installed almost parallel to the watercourse and would be approximately 50' from the watercourse. Being a certified organic farm pressure treated post are not permitted and steel will most likely be used.

The irrigation would also be upgraded to include an in ground hydrant in the field that we would be able to hook up to and a frost free hydrant that would allow access for water in the winter.

The laying flock will be relocated to Field B and possibly increased in size by building at least one duplicate set-up, consisting of another portable hen house and moveable electrified fence. We will also raise meat poultry as well. The poultry will also be pastured and rotationally grazed and rotated accordingly. Depending on consumer demand the poultry pasture area may be increased in size to encompass the additional fields to the north of Field B. The poultry will be slaughtered on-site and all offal and post harvest water will be composted on site in a location that will be down-grade from the water course and outside of the upland review area in Field B. The compost area for the offal will be covered and housed in a slight depression in an area that has well draining soil to prevent any runoff.

There is also a chance that a farm stand will be installed on the west side of Field A near the road.

#### 8. Alternatives considered:

Due to the existing agricultural field and layout of the property there are no viable alternatives considered.

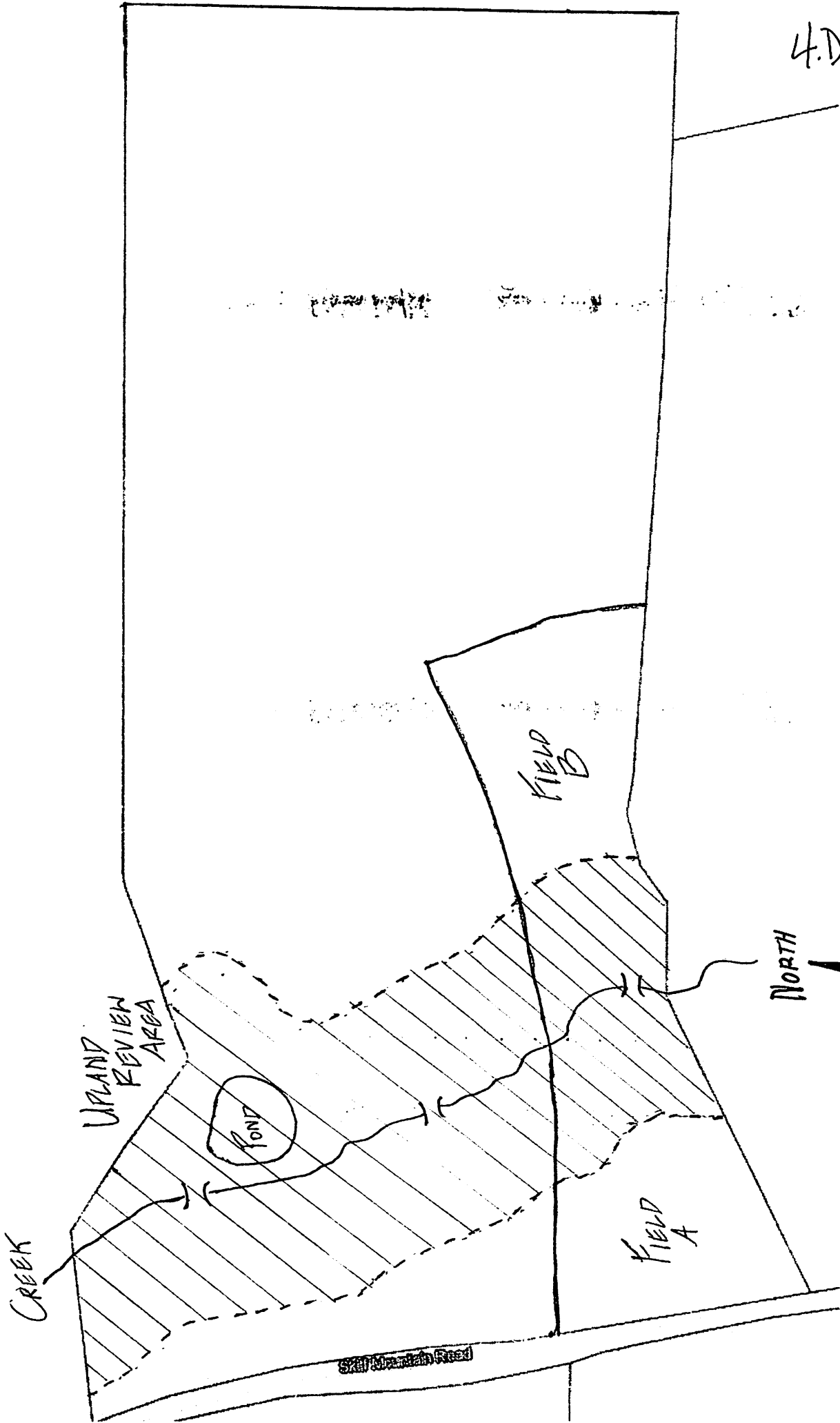
#### List of adjacent land owners:

To the South, East and West:

Katherine S. Kane  
501 Skiff Mountain Rd  
Kent CT 06757

To the North:

Constance T. Hedden  
85 Cream Hill Rd.  
Cornwall CT 06796



Kent Market Garden

Prepared By: M. Turner

October 1, 2001

Scale: 1" = 200'

U.S. G.P.S. 11/1/01

M.T.



**Agricultural Exemptions, Farming, and the Inland Wetlands and Watercourses Act**  
**Connecticut General Statutes Section 22a-40:**  
**Permitted Operations and Uses**  
**Subsection (a)(1): Farming**

---

**"Sec. 22a-40. Permitted operations and uses. (a) The following operations and uses shall be permitted in wetlands and watercourses, as of right:**

*(1) "Grazing, farming, nurseries, gardening and harvesting of crops and farm ponds of three acres or less essential to the farming operation, and activities conducted by, or under the authority of, the Department of Environmental Protection for the purposes of wetland or watercourse restoration or enhancement or mosquito control. The provisions of this subdivision shall not be construed to include road construction or the erection of buildings not directly related to the farming operation, relocation of watercourses with continual flow, filling or reclamation of wetlands or watercourses with continual flow, clear cutting of timber except for the expansion of agricultural crop land, the mining of top soil, peat, sand, gravel or similar material from wetlands or watercourses for the purposes of sale [.]"*

---

1. This statutory subsection pertains to agricultural activities which are permitted in wetlands and watercourses as of right.
  - 1.1. Often referred to as the "exemption" section.
2. This statutory subsection does not apply just to existing operations and uses, it also applies to new or proposed operations and uses.
  - 2.1. The operation and use has no income requirement; it may be a hobby.
3. Court interpretation (case law) states that the Inland Wetlands Agency has the right to determine if a farming activity is exempt pursuant to this statutory subsection. The existence of an exemption (the application of the statutory language to the facts of a particular situation) is not determined by the applicant but rather by the Inland Wetlands Agency. This is so, because the agency always has the authority to determine the reach of its jurisdiction over inland wetlands and watercourses.
  - 3.1. Person claiming the benefit of the exemption has the burden of proving to the agency that the activity falls within the exemption.
    - 3.1.1. If evidence in the agency's record equally supports that the activity is exempt and is not exempt, then the applicant has failed to meet the burden of proof and needs to apply for a permit to conduct a regulated activity.

- 3.2. Exemptions are "narrowly construed," which means that the agency is precluded from interpreting the exemption more generously, in favor of the person claiming the benefit of it, than the words of the statute allow.
- 3.3. Exemptions cannot be expanded upon by the agency, even if the agency thinks good policy reasons exist to do so; conversely, exemptions cannot be more narrowly read by the agency than the language of the exemption provision dictates, even if the agency thinks good policy reasons exist to do so.

4. The word "farming" is not defined within the Inland Wetlands and Watercourses Act. Therefore, use the definition found in Connecticut General Statutes Section 1-1(q).

4.1. **Sec. 1-1. Words and phrases.** (a) *In the construction of the statutes, words and phrases shall be construed according to the commonly approved usage of the language; and technical words and phrases, and such as have acquired a peculiar and appropriate meaning in the law, shall be construed and understood accordingly.*

*(q) Except as otherwise specifically defined, the words "agriculture" and "farming" shall include cultivation of the soil, dairying, forestry, raising or harvesting any agricultural or horticultural commodity, including the raising, shearing, feeding, caring for, training and management of livestock, including horses, bees, poultry, fur-bearing animals and wildlife, and the raising or harvesting of oysters, clams, mussels, other molluscan shellfish or fish; the operation, management, conservation, improvement or maintenance of a farm and its buildings, tools and equipment, or salvaging timber or cleared land of brush or other debris left by a storm, as an incident to such farming operations; the production or harvesting of maple syrup or maple sugar, or any agricultural commodity, including lumber, as an incident to ordinary farming operations or the harvesting of mushrooms, the hatching of poultry, or the construction, operation or maintenance of ditches, canals, reservoirs or waterways used exclusively for farming purposes; handling, planting, drying, packing, packaging, processing, freezing, grading, storing or delivering to storage or to market, or to a carrier for transportation to market, or for direct sale any agricultural or horticultural commodity as an incident to ordinary farming operations, or, in the case of fruits and vegetables, as an incident to the preparation of such fruits or vegetables for market or for direct sale. The term "farm" includes farm buildings, and accessory buildings thereto, nurseries, orchards, ranges, greenhouses, hoopouses and other temporary structures or other structures used primarily for the raising and, as an incident to ordinary farming operations, the sale of agricultural or horticultural commodities. The term "aquaculture" means the farming of the waters of the state and tidal wetlands and the production of protein food, including fish, oysters, clams, mussels and other molluscan shellfish, on leased, franchised and public underwater farm lands. Nothing herein shall restrict the power of a local zoning authority under chapter 124.*

5. What is permitted as of right:

- 5.1. Grazing;
- 5.2. Farming;
- 5.3. Nurseries;
- 5.4. Gardening;
- 5.5. Harvesting of crops;
- 5.6. Farm Ponds of three acres or less essential to the farming operation;



- 5.7. Clearcutting of timber for the expansion of agricultural crop land;
- 5.8. Activities conducted by or under the authority of the DEP for the purposes of wetland or watercourse restoration or enhancement or mosquito control.
6. What is **not permitted** as of right and therefore requires an application for a permit:
- 6.1. Farm ponds greater than 3 acres;
- 6.2. Farm ponds of 3 acres or less **not** essential to the farming operation;
- 6.3. Road construction not directly related to the farming operation;
- 6.4. Road construction involving filling of wetlands or watercourses with continual flow;
- 6.5. The erection of buildings not directly related to the farming operation;
- 6.6. The erection of buildings involving filling of wetlands or watercourses with continual flow;
- 6.7. Relocation of watercourses with continual flow;
- 6.8. Filling of wetlands; \*
- 6.9. Reclamation\* of wetlands;
- 6.10. Filling of watercourses with continual flow;
- 6.11. Reclamation\* of watercourses with continual flow;
- 6.12. Clear cutting of timber for reasons other than the expansion of agricultural crop land;
- 6.13. Mining of top soil, peat, sand, gravel or similar material for the purposes of sale.
7. How to proceed with **determination of exemption**:
- 7.1. Agency or agent becomes aware of current activity or proposed activity for which no permit has been issued;
- 7.2. Agency or agent contacts actor requesting explanation;
- 7.3. Agency or agent requests presence of actor at next regular meeting to establish whether such activity is a regulated activity or a permitted as of right activity  
-OR-  
Actor files request for declaratory ruling on the agency's jurisdiction (if municipal regulations permit such a filing).
- 7.4. Agency finds facts which determine whether activity falls within the exemption;
- 7.4.1. Agency issues a jurisdictional ruling that activity is exempt; or

- 7.4.2. Agency issues a jurisdictional ruling that a permit be required; or
- 7.4.3. Agency issues a jurisdictional ruling that portions of the activity are exempt but other portions require a permit.
- 7.5. If actor is **unwilling to cooperate** with the agent or agency, and the agency finds the activity is not permitted as of right and therefore needs a permit, the agent or agency may issue, pursuant to Section 22a-44(a) of the General Statutes, **an order to cease and correct** such activities on the site until the actor has obtained such permit:
- 7.5.1. Agency must hold a hearing within 10 days of issuance of the order;
- 7.5.2. Duly authorized agent must offer evidence that the activity is "regulated";
- 7.5.3. Burden is on the agency to establish the activity is a regulated activity;
- 7.5.4. Agency must vote to affirm, revoke or amend the original order within 10 days of the completion of the hearing.
- 7.6. Agency may proceed directly to court to prevent actor from conducting activity without a permit,  
-OR-  
to enforce a final cease and correct order.
8. Appeals of municipal inland wetlands agency decisions
- 8.1. An appeal of an agency decision regarding the application of subsection 22a-40(a)(1) goes to the Superior Court as provided for in section 22a-43 of the General Statutes just like other appeals of agency decisions.

\* **Reclamation:** The term is not defined in the CT Inland Wetlands and Watercourses Act. Webster's Ninth New Collegiate Dictionary "to make available for human use by changing natural conditions (~swampland)."



**Town of Kent Inland Wetlands Commission**

41 Kent Green Blvd.

P.O. Box 678

Kent, CT 06757

Phone: (860)927-4625

Fax: (860)927-4541

FOR OFFICE USE ONLY	
Application #	1257-2
Filing fee \$	100
Date of receipt	4/20/21
Approved	
Denied	

**Application for a permit to conduct a regulated activity within the regulated area of an inland wetland or watercourse in the Town of Kent.**

**ALL APPLICATIONS REQUIRE THE FOLLOWING (APPLICATIONS NOT INCLUDING ALL REQUESTED INFORMATION WILL NOT BE ACCEPTED):**

- A. The original and 8 copies of the completed application form.
- B. If the applicant is not the owner of the property, a letter of consent from the owner authorizing the applicant to act as the owner's agent.
- C. One copy of the completed "Statewide Inland Wetland Activity Reporting Form."
- D. Filing Fee of \$100.00 made out to the Town of Kent.
- E. 8 copies of a site plan and other information noted on the checklist.
- F. List of names and mailing addresses of adjacent land owners.
- G. Field flagging and staking as noted on the checklist.

**1. PROPERTY ADDRESS:**

310 SOUTH KENT ROAD, SOUTH KENT, CT 06785

**2. MAP:            BLOCK:            LOT:**

12                      38                      1

**3. APPLICANT'S INFORMATION:**

Name Hosanna Fox and David Makowski  
 Mailing Address 310 South Kent Road  
 City ST ZIP Code South Kent, CT 06785  
 Home Phone Hosanna: 347 417 6462  
 Work Phone David: 347 524 1943  
 E-Mail Address fox.makowski@gmail.com

**4. OWNER'S INFORMATION:**

Name Same as above  
 Mailing Address  
 City ST ZIP Code  
 Home Phone  
 Work Phone  
 E-Mail Address

**5. APPLICANT'S INTEREST IN THE PROPERTY:**

X	Owner
	Agent
	Other (please list)

6. PLEASE PROVIDE THE FOLLOWING INFORMATION: (Please be exact)

.4	TOTAL ACREAGE OF PROPERTY
.4	TOTAL ACREAGE OF WETLANDS AND/OR WATERCOURSES DISTURBED (sq. ft. divided by 43,560)
.4	TOTAL ACREAGE OF DISTURBED REGULATED AREA (sq. ft. divided by 43,560)

7. PLEASE DESCRIBE, IN DETAIL, THE PROPOSED ACTIVITY:

(If needed, please attach additional pages.)

Please see attached proposed activity description and site plan.

8. PLEASE DESCRIBE ALTERNATIVES CONSIDERED AND STATE WHY THIS PROPOSAL WAS CHOSEN:

No other alternatives have been considered.

9. ARE THERE ANY EASEMENTS OR OTHER ENCUMBRANCES NOTED ON THE PROPERTY DEED FILED AT THE TOWN HALL? IF SO, PLEASE DESCRIBE OR ATTACH.

None.

10. PLEASE CERTIFY WHETHER:

- A. Any portion of the property on which the regulated activity is proposed is located within five hundred (500 feet of the boundary of an adjoining municipality.  Yes  No (If yes, the applicant shall give written notice of the application by certified mail, return receipt requested, on the same day to the inland wetlands agency of such other municipality).
- B. Traffic attributable to the completed project on the site will use streets within the adjoining municipality to enter or exit the site.  Yes  No
- C. Sewer or water drainage from the project site will flow through and impact the sewage or drainage system within the adjoining municipality.  Yes  No
- D. Water run-off from the improved site will impact streets or other municipal or private property within the adjoining municipality.  Yes  No

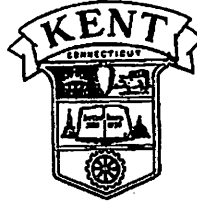
11. AGREEMENT AND SIGNATURE

The undersigned applicant hereby swears that the information supplied in the completed application is accurate, to the best of his/her knowledge and belief and is aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.

Name (printed) Hosanna Fox

Signature *Hosanna Fox*

Date 18 April 2021



**TOWN OF KENT  
INLAND WETLANDS COMMISSION**

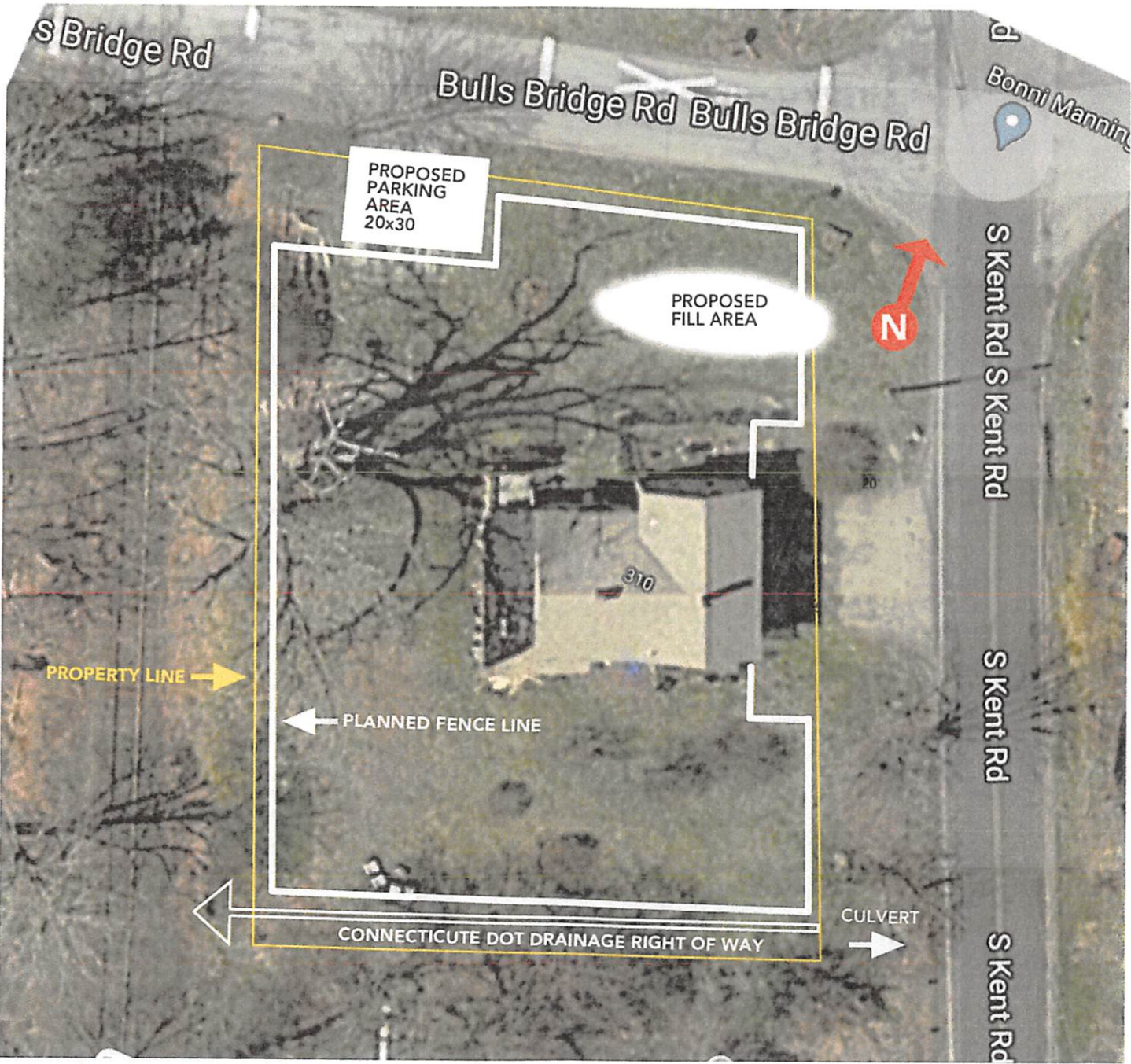
**PERMISSION FOR INSPECTION**

<b>Property Address:</b>	310 South Kent Road, South Kent, CT 06785
<b>Map/Block/Lot:</b>	
<b>Application/Permit #:</b>	

The undersigned applicant hereby consents to necessary and proper inspections of the above-mentioned property by the Inland Wetlands Commission and/or its authorized agents, at reasonable times, both before and after the permit in question has been granted by the Commission.

<b>Name (printed)</b>	Hosanna Fox
<b>Signature</b>	<i>Hosanna Fox</i>
<b>Date</b>	18 April 2021

4.E



4.E

18 April 2021  
South Kent, CT

Dear Inlands Wetlands Commission:

We are submitting an application for an Inland Wetlands Permit for

Please find attached:

- Inland Wetlands Permit Application, including the Activity Reporting Form
- A description of the proposed activities.
- A map indicating where our property is on the Kent Town wetlands map.
- A site map of the proposed activities

We are working with Mike Gawel from Gawel & Sons Construction on the technical aspects of these projects and he will be performing the yard fill work, the driveway improvement, and digging the holes for the fence installation.

We are unfortunately unable to attend the meeting as we will both be out of town, but we've asked Mike to represent us at the meeting.

Thank you very much and let us know if you need anything else!

Kind regards,

Hosanna Fox



Hosanna Fox and David Makowski

# PROPOSED ACTIVITY DESCRIPTION

**LOCATION:** 310 SOUTH KENT ROAD

**ACTIVITIES:** YARD FILL, FENCE INSTALLATION AND DRIVEWAY IMPROVEMENT

**PREPARED BY:** HOSANNA FOX AND DAVID MAKOWSKI (LANDOWNERS)

**DATE PREPARED:** 18 APRIL 2021

## Property Description

- The property is .42 acres on South Kent Road, at the south west corner of the intersection of Bulls Bridge.
- The property abuts CT DOT land on the east (South Kent Road), Kent Town land to the north (Bulls Bridge Road), Housatonic Valley Railroad to the west and the private property of David H Gereg/South Kent Partners, LLC to the south.
- The property is not within 500 feet of a municipal boundary.
- CT DOT has a drainage right of way parallel to the south property boundary, starting at the culvert under South Kent Road and draining to the west into the train tack area.
- The nearest point of the proposed activity area to the nearest body of water – Womenshenunk Creek -- is about 140 feet.

## Activity Descriptions

**FENCE INSTALLATION:** A five-foot perimeter fence around the entire property, setback from the property boundaries. On the north side, the fence will be set back 7-8 feet from the road, with no visibility interference at the intersection (a four-way stop). On the east side, the fence will be set back 1-2 feet from the DOT boundary. On the south side, it will be set back about 5-8 from the property boundary and on the west side, it will be about 2-3 feet from the HRRC property boundary.

The fence will be constructed of white oak slats on the north and east sides and white oak slats and wire on the south and west sides. Post ends will be charred, set in three feet deep holes and secured with rock and gravel. All wood will be untreated and no cement will be used.

**YARD FILL:** The goal of this project is to make one section of the yard more accessible for mowing and to create a more level surface, suitable for the fence installation. The yard in this area has a deep swale, but it is not a water capture area. It drains properly with no standing water during rains or snow melt.

One load of clean fill (17 yards) and one load of screened top soil (20 yards) will be used to level the swale. The area will be immediately raked, seeded and covered with hay.



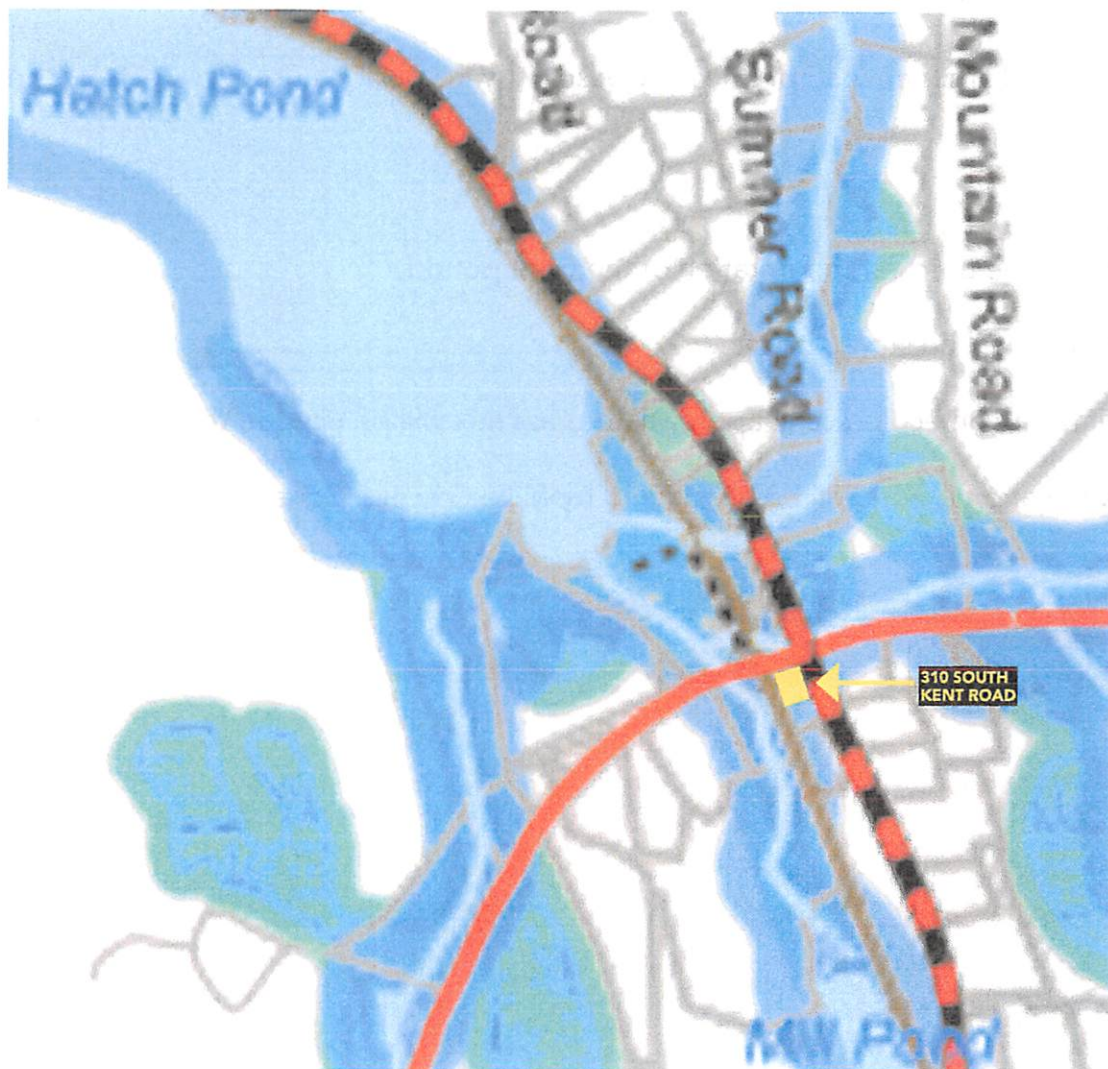
**DRIVEWAY IMPROVEMENT:** The goal of this project is to make the lower driveway more user friendly, including levelling the parking area and resurfacing it with rock and gravel.

The area will be leveled and one load of driveway base (17 yards) will be used to create a level gravel bed.

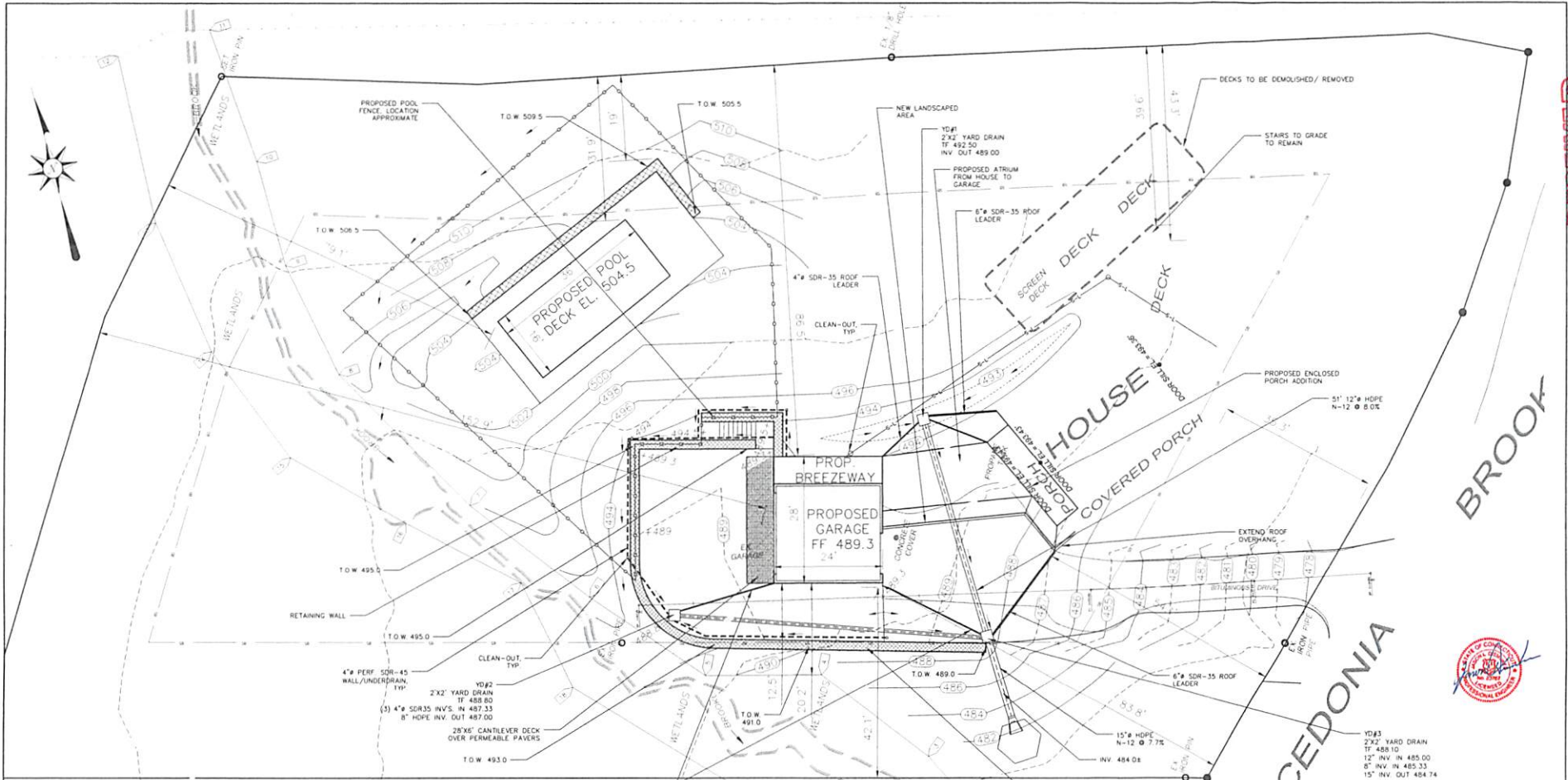
## **Project Notes**

- A silt fence will be used for the duration of the work period.
- No fill materials will be stored on site.
- Native plants and an ecologically-appropriate grass mix will be used to reseed the fill area.
- All excavation and fill work will be conducted by Mike Gawel & Sons Construction.

# SITE PLAN & MAPS



RECEIVED  
3/27/21  
TMD



**ZONING TABLE**  
#99 MACEDONIA ROAD, KENT CONNECTICUT  
MAP ID: 2513  
RURAL RESIDENTIAL DISTRICT (RR-1)

Lot Requirements	Minimum Allowed	Existing	Proposed
Min. Buildable Lot Area	150'	185.54'	N/A
Min. Front Yard Setback	45 FT	35.2 FT	35.2 FT (see zoning)
Min. Side Yard Setback	10 FT	21.4 FT	14.9 (see zoning)
Rear Yard Setback	10 FT	148.2 FT	79.1 FT (see zoning)
Max. Principle Building Coverage	10%	1.11%	7.15%
Max. & Lot Building Coverage	10%	7.20%	7.15%
Max. Building Height	30 FT	N/A	10m (32m 10')

Note: Zoning requirements taken from zoning regulations as posted on the Town of Kent website, effective date February 18, 2020

**COVERAGE ANALYSIS**  
Lot Square Foot Area = 421157.87

Item	Existing Conditions		Proposed Conditions	
	Area (SF)	%	Area (SF)	%
Principal Building	2525.2	6.0	4000.0	9.5
Detached Accessory Structures	998	2.0	1372	3.3
Pools	-	-	600	1.4
<b>Total</b>	<b>3,338</b>	<b>7.9%</b>	<b>5,972</b>	<b>14.2%</b>

**GENERAL NOTES**

- Map References:  
Topographic information from plan titled "Topographic Survey Prepared for Stefan N. Peters & Ashley D. Rosebrook" prepared by Robert L. Hock Licensed Land Surveyor, I.L.C. Dated September 9, 2020.  
Boundary information from plan titled "Property Survey Prepared for Stefan N. Peters & Ashley D. Rosebrook" prepared by Robert L. Hock Licensed Land Surveyor, I.L.C. Dated November 2, 2020.
- Underground utilities, if shown, are shown for the convenience of the Contractor only and may not represent actual locations. The Engineer is not responsible for the location of underground utilities.
- The Contractor shall contact CALL BEFORE YOU DIG at 1-800-922-4455 prior to any excavation.

**SHEET INDEX**

1	SITE PLAN
2	EXISTING CONDITIONS
3	MISC. DETAILS
4	S&E AND CONSTRUCTION PHASE PLAN

**DISTURBANCES (SF/AC)**

WETLANDS	72/0.0016
WATER COURSES	0.00/0.00
UPLAND	13,092.4/0.30

**JASON DISMUKES**  
241 Torrington Road  
P.O. Box 124  
Goshen, CT 06756  
T: 860-491-3456  
F: 860-201-4104  
www.dismukesengineering.com

**SITE PLAN**

Prepared For:  
**STEFAN N. PETERS & ASHLEY D. ROSEBROOK**  
#99 MACEDONIA BROOK ROAD  
KENT, CONNECTICUT

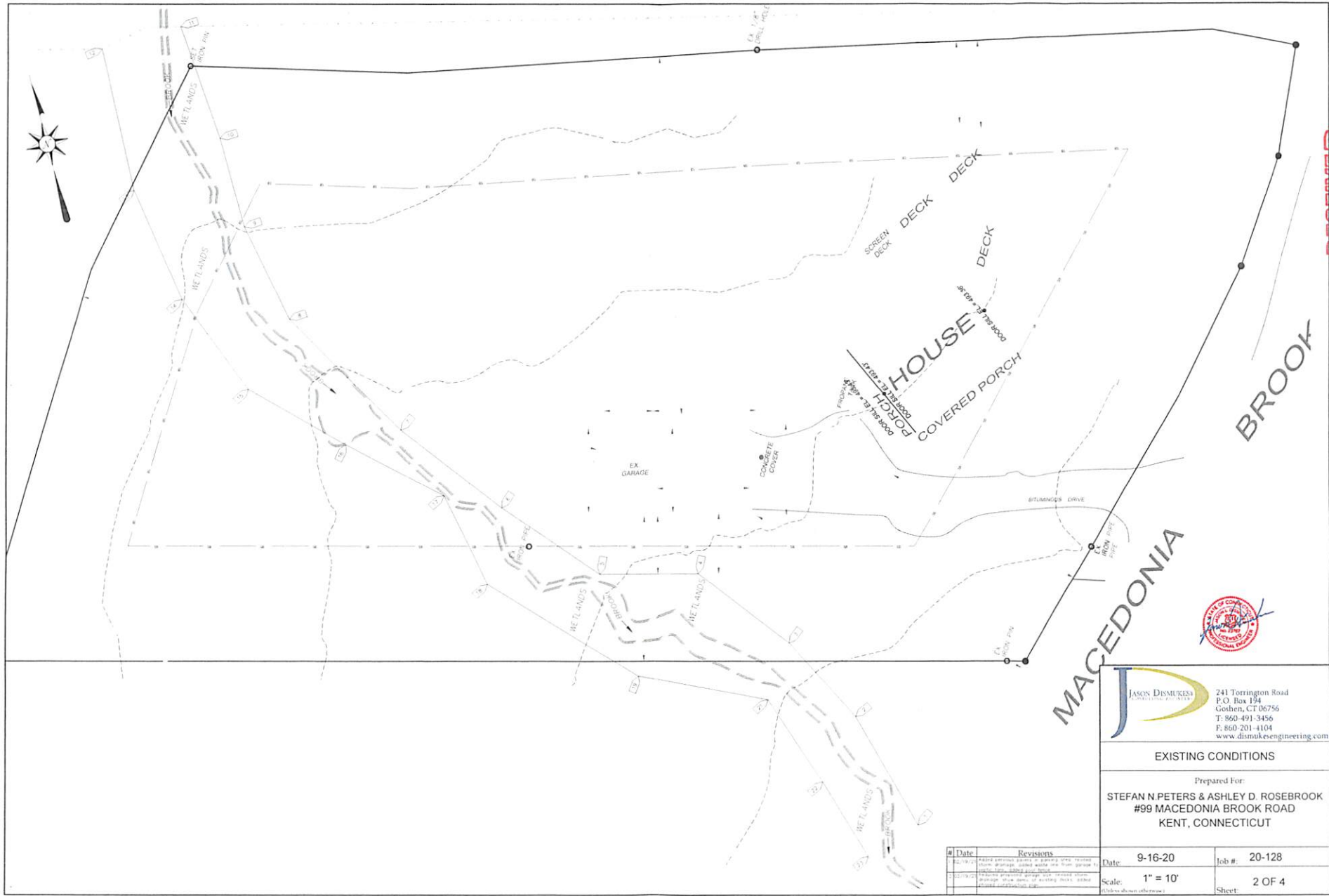
#	Date	Revisions	Date	Job #
1	2/2/21	Added general notes & zoning area revised from previous version. Added note from zoning to clarify building coverage.	9-16-20	20-128
2	2/13/21	Added note about zoning area revised from zoning. Added note about zoning area revised from zoning.		
3	2/13/21	Added note about zoning area revised from zoning. Added note about zoning area revised from zoning.		

Scale: 1" = 10'  
Sheet: 1 OF 4



5.A

RECEIVED  
P. W. C. R. C. E. R. I. T. I. E. R. U.



**JASON DISMUKES**  
 241 Torrington Road  
 P.O. Box 194  
 Goshen, CT 06756  
 T: 860-491-3456  
 F: 860-201-4104  
 www.dismukesengineering.com

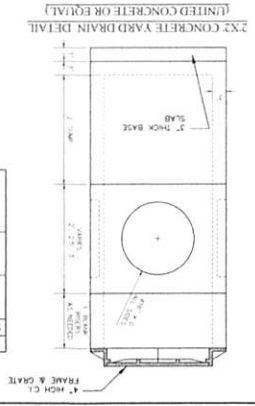
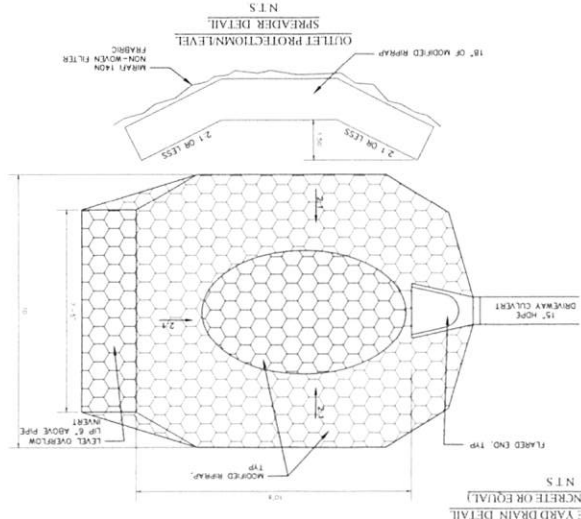
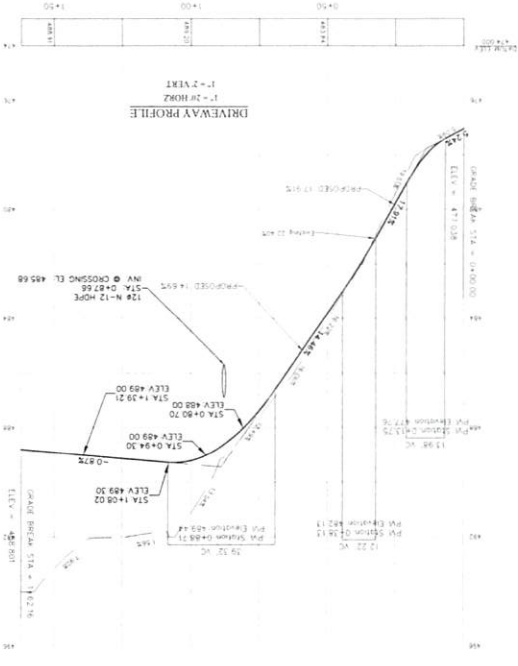
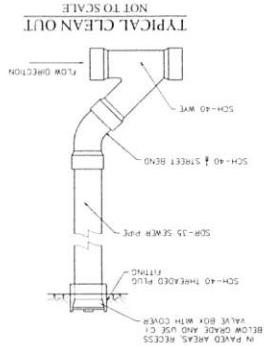
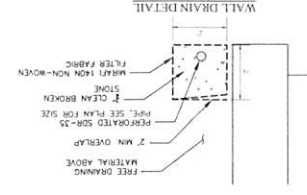
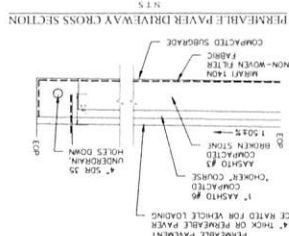
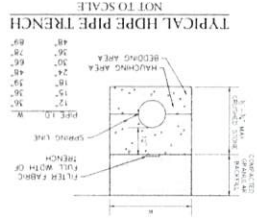
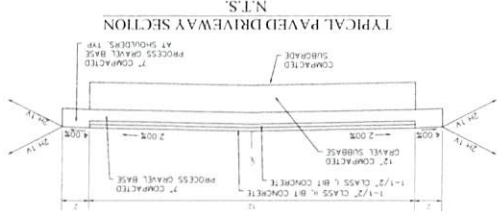
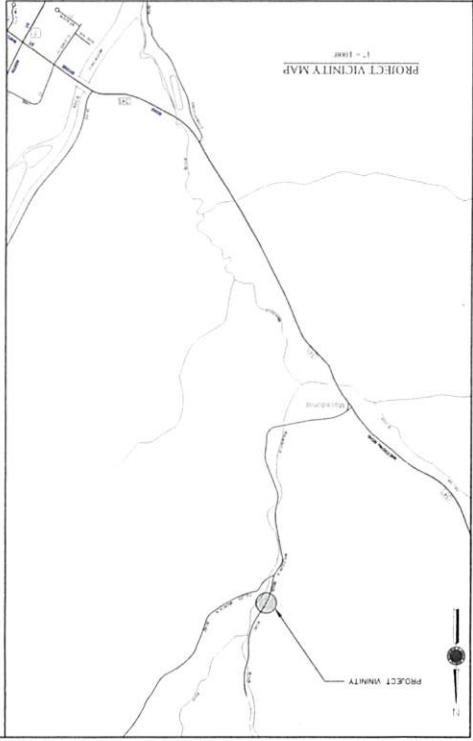
**EXISTING CONDITIONS**

Prepared For:  
**STEFAN N. PETERS & ASHLEY D. ROSEBROOK**  
 #99 MACEDONIA BROOK ROAD  
 KENT, CONNECTICUT

#	Date	Revisions	Date	Job #
1	9-16-20	Added previous sheets to existing sheet revised from drawings issued under one from previous sheet. <b>SEE SHEET 20-128</b>	9-16-20	20-128
2	9-16-20	Added previous sheet and revised sheet. <b>SEE SHEET 20-128</b>	9-16-20	20-128

Scale: 1" = 10'  
(Unless shown otherwise)

Sheet: 2 OF 4



STRUCTURE NAME	DETAILS	CONNECTED PIPS
YD#1 (1)	RM. 492.50 SLUMP 48.00 RM TO SLUMP HT. 5.00 50'1 12.04 N-12 HOPE @ 7.98%	
YD#2 (1)	RM. 489.30 SLUMP 48.00 RM TO SLUMP HT. 4.38 65'4 8.04 N-12 HOPE @ 2.41%	
YD#3 (1)	RM. 487.74 SLUMP 48.00 RM TO SLUMP HT. 5.36 50'1 12.04 N-12 HOPE @ 7.98% 88'4 8.04 N-12 HOPE @ 2.41% 12.04 INV. OUT = 484.742 12.04 INV. IN = 483.342	

**Jason DiSarno**  
 P.E. License No. 194  
 241 Torrington Road  
 Colton, CT 06756  
 T: 860-491-3456  
 F: 860-201-4104  
 www.dsrmhengineering.com

Prepared For:  
**MSC. DETAILS**  
**STEFAN N PETERS & ASHLEY D ROSEBROOK**  
**#99 KENTONIA BROOK ROAD**  
**KENT, CONNECTICUT**

Date: 9-16-20  
 Scale: 1" = 20'  
 Job #: 20-128  
 Sheet: 3 OF 4

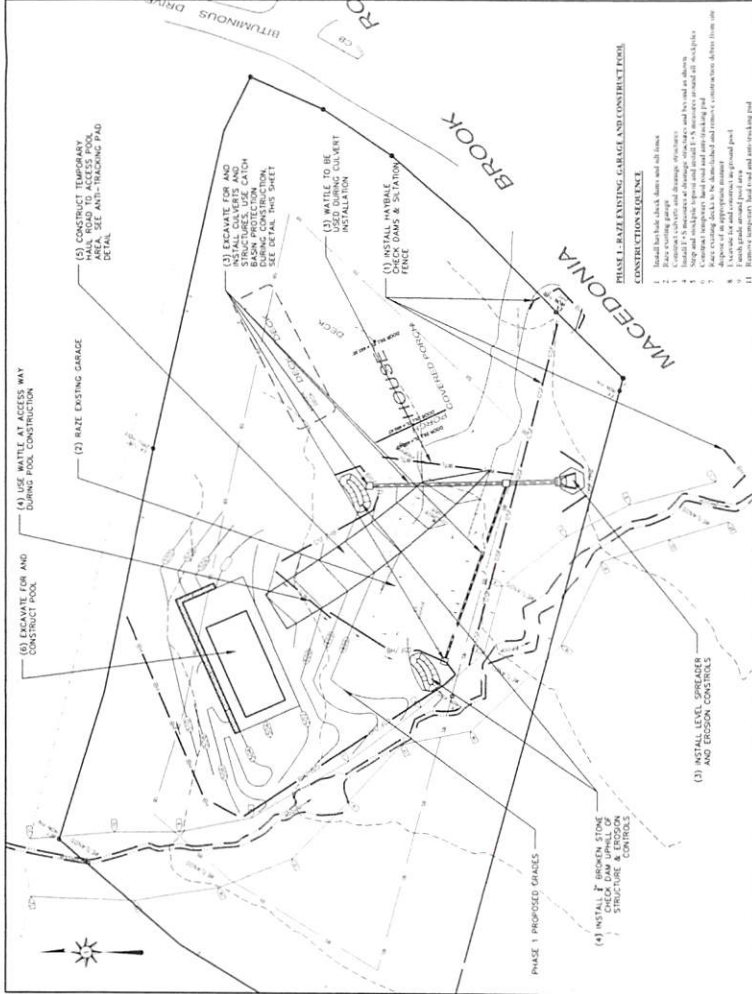
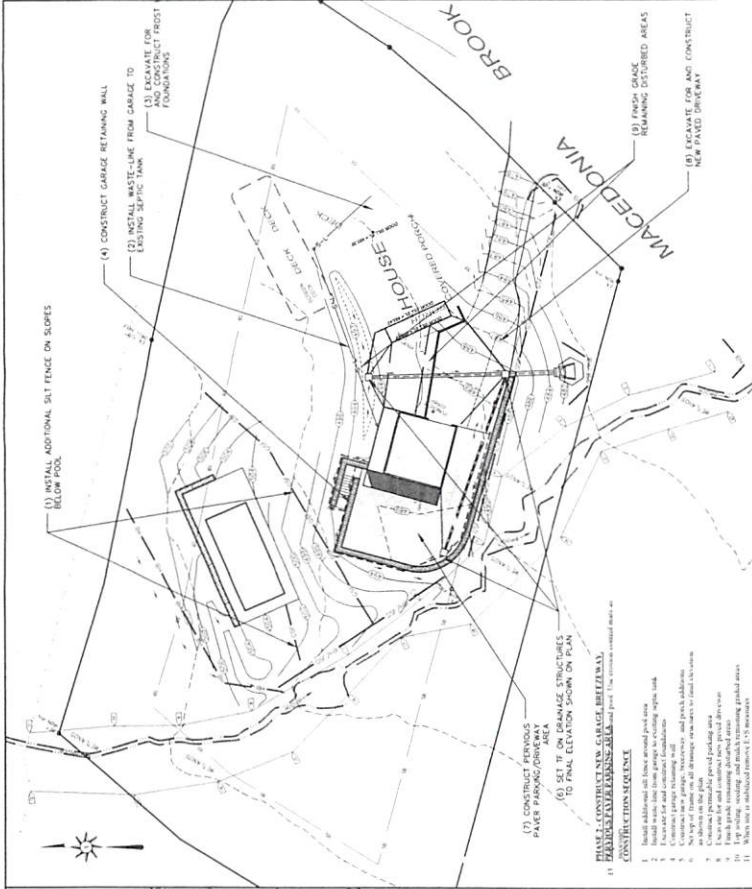


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T.M.H.



**PHASE -1**  
1" = 20'

**PHASE -2**  
1" = 20'

(1) INSTALL LEVEL SPREADER AND EROSION CONTROLS  
(2) INSTALL 2" PROPOSED GRADES  
(3) EXCAVATE FOR AND CONSTRUCT POOL  
(4) USE MATTE AT ACCESS WAY DURING POOL CONSTRUCTION  
(5) CONSTRUCT TEMPORARY AREA. SEE ANTI-TRACKING PAD DETAIL  
(6) BRAZE EXISTING GARAGE  
(7) RAZE EXISTING GARAGE  
(8) EXCAVATE FOR AND CONSTRUCT WASTE-LINE FROM GARAGE TO EXISTING SEPTIC TANK  
(9) CONSTRUCT GARAGE RETAINING WALL  
(10) EXCAVATE FOR AND CONSTRUCT FROST FOUNDATIONS  
(11) EXCAVATE FOR AND CONSTRUCT NEW PAVED DRIVEWAY

(1) INSTALL HYDRAL CHECK DAMS & STATION FENCE  
(2) RAZE EXISTING GARAGE AND CONSTRUCT FLOOR  
(3) EXCAVATE FOR AND CONSTRUCT WASTE-LINE FROM GARAGE TO EXISTING SEPTIC TANK  
(4) CONSTRUCT GARAGE RETAINING WALL  
(5) EXCAVATE FOR AND CONSTRUCT FROST FOUNDATIONS  
(6) EXCAVATE FOR AND CONSTRUCT NEW PAVED DRIVEWAY

**PHASE -1 CONSTRUCTION SEQUENCE**  
1. Install level spreader and erosion controls  
2. Install 2" proposed grades  
3. Excavate for and construct pool  
4. Use matting at access way during pool construction  
5. Construct temporary area  
6. Raze existing garage  
7. Raze existing garage and construct floor  
8. Excavate for and construct waste-line from garage to existing septic tank  
9. Construct garage retaining wall  
10. Excavate for and construct frost foundations  
11. Excavate for and construct new paved driveway

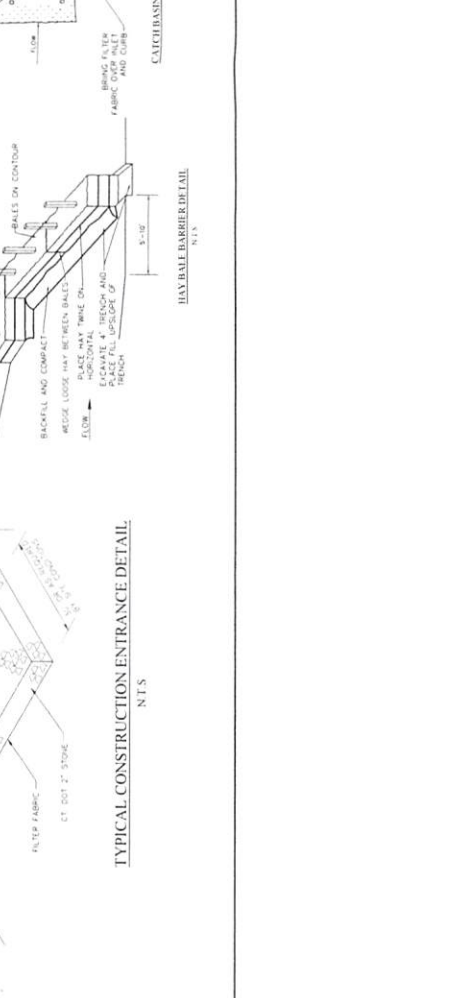
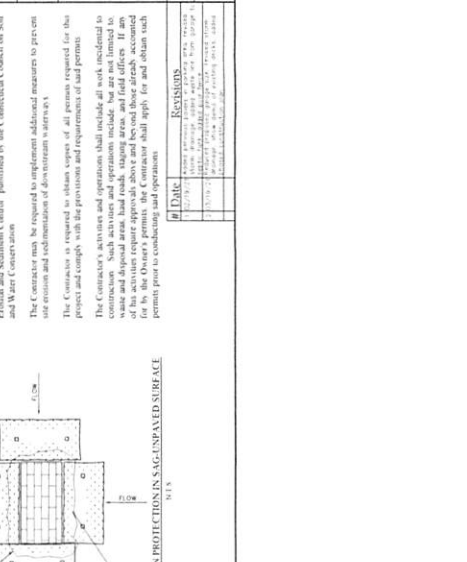
**PHASE -2 CONSTRUCTION SEQUENCE**  
1. Install hydral check dams and station fence  
2. Raze existing garage and construct floor  
3. Excavate for and construct waste-line from garage to existing septic tank  
4. Construct garage retaining wall  
5. Excavate for and construct frost foundations  
6. Excavate for and construct new paved driveway  
7. Install 2" proposed grades  
8. Use matting at access way during pool construction  
9. Construct temporary area  
10. Raze existing garage  
11. Raze existing garage and construct floor

**JASON DAMURIS**  
JASON DAMURIS ENGINEERING, INC.  
241 Torrington Road  
Canaan, CT 06756  
T: 860 491-3456  
F: 860 201-4104  
www.damurisengineering.com

**S&E AND CONSTRUCTION PHASE PLAN**  
Prepared For:  
**STEFAN N PETERS & ASHLEY D ROSEBROOK**  
#895 MACEDONIA BROOK ROAD  
KENT, CONNECTICUT

#	DATE	REVISIONS
1	9-16-20	DATE
2	9-16-20	DATE
3	9-16-20	DATE
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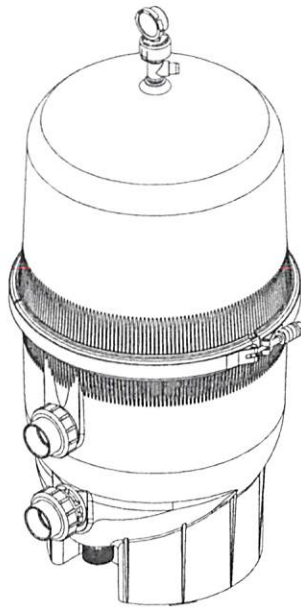
**Erosion Control Narrative**  
This narrative describes the minimum measures required to control soil erosion during and after construction of the activities shown on this plan. The soil erosion and sediment control measures shown on this plan are based on the Connecticut State Department of Environmental Protection and Department of Water Control Manual published by the Connecticut Council on Soil and Water Conservation.  
The Contractor must be required to implement additional measures to prevent soil erosion and sedimentation of downstream waters.  
The Contractor is required to obtain copies of all permits required for the project and comply with the provisions and requirements of said permits.  
The Contractor's activities and operations shall include all such incidental to construction. Such activities and operations include, but are not limited to, waste and disposal areas, haul roads, staging areas, and field offices. If any activities are not shown on this plan, the Contractor shall obtain all necessary permits prior to conducting said operations.



**TYPICAL CONSTRUCTION ENTRANCE DETAIL**  
N.T.S.



# CLEAN AND CLEAR® PLUS CARTRIDGE FILTER



## INSTALLATION AND USER'S GUIDE

IMPORTANT SAFETY INSTRUCTIONS  
*READ AND FOLLOW ALL INSTRUCTIONS*  
SAVE THESE INSTRUCTIONS

**WARNING**



Pressurized air can cause the lid to separate from the tank with great force. To reduce the risk of severe injury or death, relieve pressure by opening air relief valve before opening filter. Before starting the pump after servicing, ensure that clamp band is correctly fastened. See Important Warnings and Safety Instructions (page ii) and follow all instructions exactly; including the *Opening the Filter* (page 4), *Installing the Filter Lid and Clamp Ring* (page 5), and *Start-Up Instructions* (page 6).



**CUSTOMER SERVICE / TECHNICAL SUPPORT**

If you have questions about ordering Pentair replacement parts, and pool products, please contact:

**Customer Service and Technical Support, USA**  
(8 A.M. to 4:30 P.M. — Eastern/Pacific Times)  
Phone: (800) 831-7133  
Fax: (800) 284-4151

**Sanford, North Carolina** (8 A.M. to 4:30 P.M. ET)  
Phone: (919) 566-8000  
Fax: (919) 566-8920

**Moorpark, California** (8 A.M. to 4:30 P.M. PT)  
Phone: (805) 553-5000 (Ext. 5591)  
Fax: (805) 553-5515

**Web site**  
Visit [www.pentair.com](http://www.pentair.com) for information about Pentair products.

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# IMPORTANT WARNINGS AND SAFETY INSTRUCTIONS



## IMPORTANT NOTICE:

This guide provides installation and operation instructions for the Clean and Clear® Plus Cartridge Filter. Consult Pentair Water Pool and Spa, Inc. with any questions regarding this equipment.

**Attention Installer:** This guide contains important information about the installation, operation and safe usage of this product. This information should be given to the owner and/or operator of this equipment after installation.

**Attention User:** This manual contains important information that will help you in operating and maintaining this filter. Please retain it for future reference.



This is the safety alert symbol. When you see this symbol on your system or in this manual, look for one of the following signal words and be alert to the potential for personal injury.



**DANGER** Warns about hazards that can cause death, serious personal injury, or major property damage if ignored.



**WARNING** Warns about hazards that may cause death, serious personal injury, or major property damage if ignored.



**CAUTION** Warns about hazards that may or can cause minor personal injury or property damage if ignored.

### NOTE

Indicates special instructions not related to hazards.

Carefully read and follow all safety instructions in this manual and on equipment. Keep safety labels in good condition; replace if missing or damaged.

## Consumer Information and Safety

This filter is designed and manufactured to provide many years of safe and reliable service when installed, operated and maintained according to the information in this manual and the installation codes referred to in later sections. Throughout the manual, safety warnings and cautions are identified by the "⚠" symbol. Be sure to read and comply with all of the warnings and cautions.



**WARNING** Before installing this product, read and follow all warning notices and instructions which are included. Failure to follow safety warnings and instructions can result in severe injury, death, or property damage. Call (800) 831-7133 for additional free copies of these instructions or replacement safety labels.

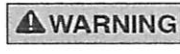


**WARNING** Do not operate the filter until you have read and understand clearly all the operating instructions and warning messages for all equipment that is a part of the pool circulating system. The following instructions are intended as a guide for initially operating the filter in a general pool installation. Failure to follow all operating instructions and warning messages can result in property damage or severe personal injury or death.



Due to the potential risk that can be involved it is recommended that the pressure test be kept to the minimum time required by the local code. Do not allow people to work around the system when the circulation system is under pressure test. Post appropriate warning signs and establish a barrier around the pressurized equipment. If the equipment is located in an equipment room, lock the door and post a warning sign.

Never attempt to adjust any closures or lids or attempt to remove or tighten bolts when the system is pressurized. These actions can cause the filter to separate and could cause severe personal injury or death if they were to strike a person.



**WARNING** This filter must be installed by a qualified pool serviceman in accordance with all applicable local codes and ordinances. Improper installation could result in death or serious injury to pool users, installers, or others and may also cause damage to property.



**WARNING** Always disconnect power to the pool circulating system at the circuit breaker before servicing the filter. Ensure that the disconnected circuit is locked out or properly tagged so that it cannot be switched on while you are working on the filter. Failure to do so could result in serious injury or death to serviceman, pool users or others due to electric shock.



**WARNING** DO NOT permit children to use this product.

## IMPORTANT WARNINGS AND SAFETY INSTRUCTIONS

### WARNING

#### THIS SYSTEM OPERATES UNDER HIGH PRESSURE



When any part of the circulating system, (e.g., closure, pump, filter, valve(s), etc.), is serviced, air can enter the system and become pressurized. Pressurized air can cause the top closure to separate which can result in severe injury, death, or property damage. To avoid this potential hazard, follow these instructions:

1. Let air and pressure out of system before and after servicing.
  - a. **Shut off pump and RELIEVE PRESSURE by opening the manual air/pressure relief valve before servicing, including before tightening the clamp bolt.** Follow the *Opening the Filter* instructions exactly (page 4).
  - b. Follow *Start-Up Instructions* exactly after completing service (page 6). **The air/pressure relief valve must remain open until water comes out**, allowing all air out of the system.
2. Install lid and clamp ring properly.
  - a. Follow the *Installing the Filter Lid and Clamp Ring* instructions exactly (page 5). **The nut must be tightened until the spring is compressed when clamp is installed.** Tap the clamp with a rubber mallet or similar tool after clamp installation to ensure proper seating.
3. Maintain circulation system properly to help prevent air entering the system.
  - a. Replace worn or damaged parts immediately, (e.g., closure, pressure gauge, valve(s), O-rings, etc.).
  - b. Maintain proper water level in the pool or spa.
4. Verify that the return line to the pool is unobstructed. Ensure return valves are open and any winterizing plugs are removed.

### WARNING

#### AVOID DAMAGING SYSTEM

**Never Exceed Maximum Pressure of Components.** The maximum working pressure of this filter is 50 psi. Never subject this filter to higher pressure, even when conducting hydrostatic pressure tests. Pressures above 50 psi can damage your filter.

Be sure the maximum pressure of the filter system does not exceed the maximum pressure of any components within the system (typically stated on each component), including during hydrostatic or external leak tests. Exceeding the maximum pressure of a component can result in that component failing. If you do not know the pool or spa system operating pressure, install an ASME approved automatic Pressure Relief or Pressure Regulator in the circulation system set to the lowest working pressure of any of the components in the system.

### WARNING



Certain codes may require pressure testing the system. Performing pressure tests increases the risk of component failure. Due to the potential risk that can be involved, keep the pressure test to the minimum time required by the local code and take precautions. If pressure testing is necessary, follow these precautions:

1. Keep people away.
  - a. Do not allow people to work around the system when the circulation system is under pressure test. Post appropriate warning signs and establish a barrier around the pressurized equipment. If the equipment is located in an equipment room, lock the door and post a warning sign.
2. Never exceed maximum operating pressure.
  - a. When performing hydrostatic pressure tests or when testing for external leaks of the completed filtration and plumbing system, ensure that the Maximum Pressure that the filtration system will be subjected to does not exceed the maximum working pressure of any of the components contained within the system.

## GENERAL INFORMATION

### WARNING

#### THIS SYSTEM OPERATES UNDER HIGH PRESSURE.



When any part of the circulating system (e.g., Lock Ring, Pump, Filter, Valves, etc.) is serviced, air can enter the system and become pressurized. Pressurized air can cause the lid to separate which can result in serious injury, death, or property damage. To avoid this potential hazard, follow the instructions below.

### Filter Overview

- Large filter area designed for increased debris capacity
- High Flow™ Manual Air Relief Valve provided
- 1.5" x 2" Bulkhead Unions allows for easy piping installation

### General Operation Information

Read and follow all instructions and warnings before installing or servicing your filter. Proper installation and operation can prevent unnecessary repairs and maintenance.

### WARNING



Your filter is a piece of machinery, do not tamper with it, attempt to disassemble it or otherwise adjust it unless you fully understand it's operation. Serious injury or death can occur if the equipment is improperly handled. Consult a pool service professional for maintenance and service assistance.

1. The Clean and Clear® Plus Cartridge Filter operates under pressure and operates in a safe manner if clamped properly and without air in the circulating system.
2. The maximum working pressure of this filter is 50 psi. Never subject this filter to pressure in excess of this amount, even when conducting hydrostatic pressure tests.
3. Be sure the maximum pressure of the filter system does not exceed the maximum pressure of any components within the system during hydrostatic or external leak tests. Consult the maximum pressure stated on each component of the system.
4. The pressure gauge is the primary indicator of how the filter is operating. Maintain your pressure gauge in good working order.
5. **Clean your filter when pressure reads between 8-10 psi higher than the "Original Starting Pressure", or when significant reduction in flow is noticed.** The pressure reading increases as it filters dirt from your pool. This build up of pressure will vary due to different bathing loads, temperature, environmental conditions, etc.

**Note:** When using a variable speed pump the "Original Starting Pressure" will be dependent on the pump speed (RPM) when recording the original operating pressure. Record the "Original Pump RPM" in **Table 1**.

### Pressure Tests

When performing hydrostatic pressure tests or when testing for external leaks of the completed filtration and plumbing system, ensure that the Maximum Pressure that the filtration system will be subjected to **DOES NOT EXCEED THE MAXIMUM WORKING PRESSURE OF ANY OF THE COMPONENTS CONTAINED WITHIN THE SYSTEM.** In most cases, the maximum pressure will be stated on each component of the system.

If you do not know the pool or spa system operating pressure, install an ASME approved automatic Pressure Relief or Pressure Regulator in the circulation system set to the lowest working pressure of any of the components in the system.

**Table 1**

ORIGINAL STARTING PRESSURE IS: \_\_\_\_\_ psi.  
(pounds per square inch)

SERVICE THE CARTRIDGES AT: \_\_\_\_\_ psi.

ORIGINAL PUMP RPM: \_\_\_\_\_ rpm.  
(for Variable Speed Pumps Only)

## INSTALLATION

### ⚠ WARNING

This filter must be installed by a qualified pool technician in accordance with all applicable local codes and ordinances. Improper installation could result in death or serious injury to pool users, installers, servicers, or others and may also cause damage to property.

### ⚠ WARNING



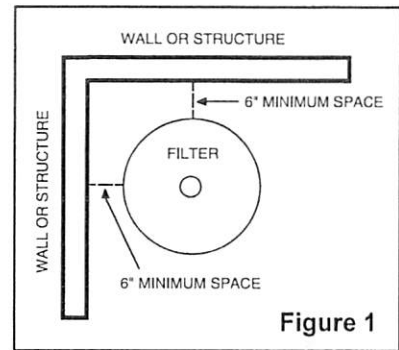
**For Installation of Electrical Controls at Equipment Pad (ON/OFF Switches, Timers, Control Systems and Automation)** Install all electrical controls at the equipment pad, such as ON/OFF switches, timers, control systems, etc. to allow the operation (startup, shutdown or servicing) of any pump or filter so the user does not place any portion of his/her body over or near the pump strainer lid, filter lid or valve closures. This installation should allow the user enough space to stand clear of the filter and pump strainer lid during system startup, shutdown or servicing of the system filter.

## Filter Location

1. The Clean and Clear® Plus Cartridge Filter should be mounted on a level concrete slab. **Position the filter so that instructions, warnings and the pressure gauge are visible to the operator and readable.** It also should be positioned so that the piping connections, control valve and waste drain plug are convenient and accessible for servicing and winterizing.
2. Be certain to install electrical controls (e.g., on/off switches, timers, control systems, etc.) so that the user is allowed enough space to stand clear of the filter and pump during startup, shutdown or servicing.
3. Allow sufficient clearance around the filter to permit visual verification that the clamp is properly installed around the tank flanges, see **Figure 1**.

**Note:** See page 5, *Installing the Filter Lid and Clamp Ring*.

4. Allow sufficient space above the filter to remove the filter lid for cleaning and servicing. This distance will vary with the model of filter you are using. See **Table 2** for the required vertical clearance.
5. Position the filter to safely direct water drainage away from electrical equipment or anything that might be damaged.
6. Position the High Flow™ Manual Air Relief Valve to safely direct purged air or water (See page 3, *Installing the Manual Air Relief Valve*).



**Table 2**

Model No.	Size	Vert. Clearance Req. (From Ground Level)
CCP240	240 sq. ft.	56in.
CCP320	320 sq. ft.	62in.
CCP420	420 sq. ft.	68in.
CCP520	520 sq. ft.	74in.

### ⚠ WARNING



**RISK OF ELECTRICAL SHOCK OR ELECTROCUTION.** Water discharged from an improperly positioned filter or valve can create an electrical hazard that can cause severe personal injury as well as damage property.

## Filter Plumbing

Make all plumbing connections in accordance with local plumbing and building codes. Do not use pipe joint compound, glue or solvent on the bulkhead connections. The provided filter plumbing connections include an O-ring seal.

### ⚠ CAUTION

Use PTFE or silicone based lubricants when lubricating the O-rings on the union and bulkhead couplings. Use of petroleum based products will damage the equipment.

## Installing the Manual Air Relief Valve

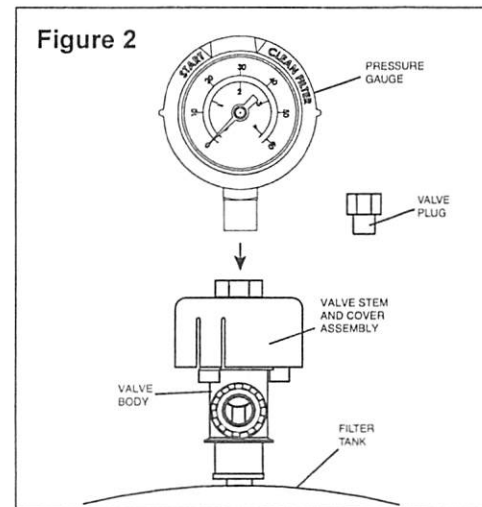
**WARNING** The High Flow manual air relief valve and pressure gauge are included with this filter to help ensure safe operation of the equipment. Always maintain these components in good working condition.

1. Remove the High Flow™ Manual Air Relief Valve and the pressure gauge from the accessories package included with your Clean and Clear® Plus Cartridge Filter.

2. Thread the manual air relief valve into the threaded hole at the top of the filter tank.

**Note: Hand tighten only!** Over tightening the valve can cause damage to the tank or valve connection threads.

3. Verify that the valve is positioned to safely direct purged air or water away from electrical equipment or anything that might be damaged.



**WARNING**



**RISK OF ELECTRICAL SHOCK OR ELECTROCUTION.** Water discharged from an improperly positioned filter or valve can create an electrical hazard that can cause severe personal injury as well as damage property.

4. Remove the plug from the top of the manual air relief valve with a 9/16" wrench.
5. Wrap the pressure gauge connection threads with thread seal tape (two full wraps of tape will be enough).
6. Thread the pressure gauge into the top of the manual air relief valve. **Hand tighten only!**
7. Follow *Start-up Instructions* exactly (page 6).

## OPENING, CLOSING, AND START-UP

**CAUTION** The following information should be read carefully since it outlines the proper manner of care and operation for your filter system. As a result of following these instructions and taking the necessary preventative care, you can expect maximum efficiency and life from your filtration system.

### Opening the Filter

Follow these instructions **exactly** to prevent the lid from separating during system start-up, operation or servicing.

**WARNING** This filter operates under high pressure. Air can also enter the system and become pressurized. If there is air in the system, there will be positive pressure that could cause the lid to separate from the filter when you release the clamp or during system start-up or operation. See *Important Safety Instructions*, page ii-iii). If there is no air in the system, there may be negative pressure, which would make the system hard to open. **Follow these instructions exactly** - opening the relief valve equalizes the pressure and releases any trapped air within the system, making it safe and easy to open.

#### RECOMMENDED EQUIPMENT:

- Ratchet Wrench
- 7/8" Socket
- Socket Extender (if needed)

#### PROCEDURE:

1. Shut off pump and relieve pressure.
  - a. Turn the pump OFF, shut OFF any automatic controls (e.g., timers), and disconnect power to ensure that the system is not inadvertently started during maintenance.
  - b. Open the High Flow™ Manual Air Relief Valve by turning the valve cover assembly counter-clockwise until it snaps into the full open position.
  - c. Stand clear of the filter and wait until all pressure is relieved. Pressure gauge must read zero (0 psi).
2. Open the waste drain plug on the bottom of the Clean and Clear® Plus Cartridge Filter. Allow all water to drain from the bottom of the filter tank.
3. Loosen the clamp's barrel nut with a 7/8" wrench, allowing the spring coils to decompress. See **Figure 4**. Remove the barrel nut, spring and two washers from the T-bolt and place them in a safe place where they will not be lost.
4. Once the spring has fully decompressed the clamp assembly will rest in the open position. Carefully lift the filter lid straight up from the lower body of the filter. If the lid is tightly sealed to the filter body you may have to gently push the filter lid from side to side in order to separate the lid from the bottom tank manifold.

**CAUTION** DO NOT use the relief valve as a handle or lever since this may damage the valve.

5. Place the tank lid in a safe place where it will not be damaged while performing any maintenance.

**NOTE:** Attempt to minimize the amount of debris that comes in contact with the tank O-ring while it is exposed. This will help prolong the life of the O-ring.

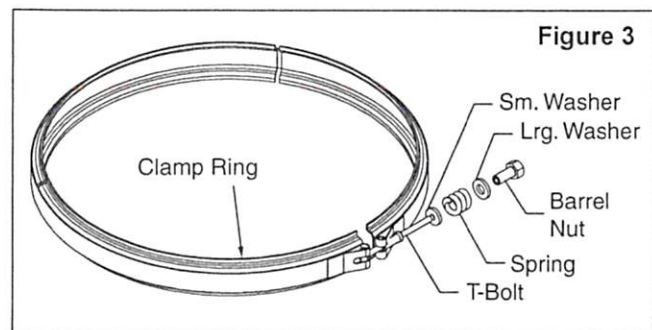


Figure 3

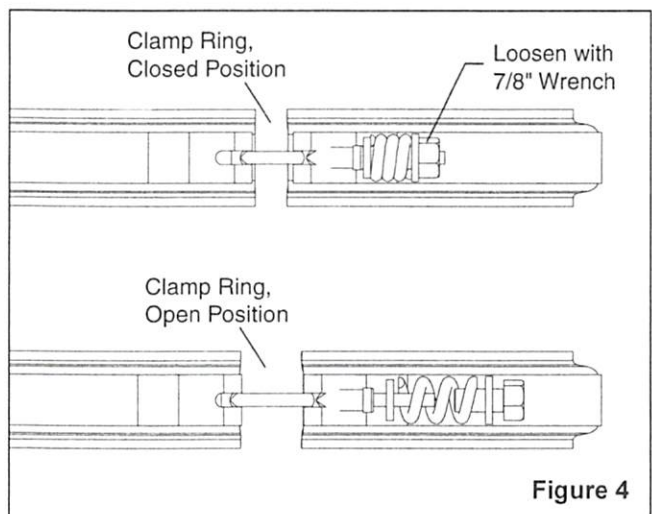


Figure 4

## Installing the Filter Lid and Clamp Ring

### WARNING



Follow these instructions exactly to prevent the lid from separating from the filter during system start-up or operation. See *Important Safety Instructions*, page ii-iii.

### RECOMMENDED EQUIPMENT:

- Ratchet Wrench
- 7/8" Socket
- Socket Extender (if needed)
- Rubber Mallet

### PROCEDURE:

1. Be sure the O-ring is clean and in position in the lower tank half. Press the Clean and Clear® Plus Cartridge Filter lid onto the lower half so the O-ring fits in between the tank halves.
  2. Hold the ends of the clamp ring apart and place over both upper and lower tank flanges. Bring the ends of the filter clamp together.
  3. Insert the T-bolt through the other side of the clamp and hold together.
  4. Place the small washer onto the T-bolt.
  5. Place the spring, large washer and barrel nut onto the T-bolt and tighten the nut by hand. Be sure the clamp ring fits easily on the tank flanges.
  6. After tightening by hand:
    - a. Use a 7/8 in. wrench (ratchet wrench recommended) to tighten further.
    - b. Tap around the outside of the clamp ring with a rubber mallet (or similar tool) multiple times around the entire clamp to fit the clamp properly.
    - c. Continue to tighten until the spring coils touch.
    - d. Tap around the entire clamp again and verify the spring coils remain touching. If not, continue to tighten the nut.
- Note:** The clamp is installed correctly only when the spring coils remain touching after tapping the clamp (See **Figure 5**).
7. Close the waste drain plug at the bottom of the filter.
  8. Follow **Start-Up Instructions** exactly (see page 6).

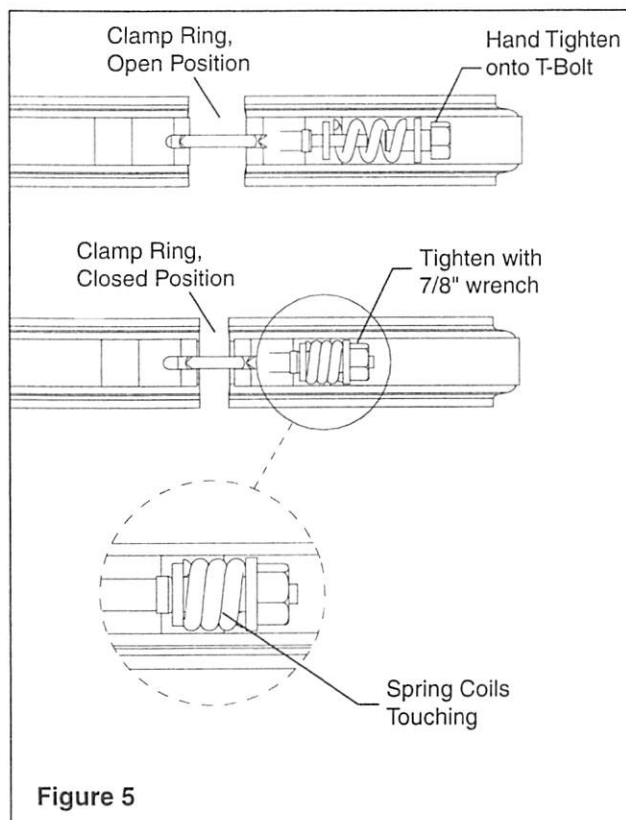


Figure 5

**Note:** Check the spring coils at least once a month to ensure proper tension. If spring coils do not touch then **shut off pump and relieve pressure** and tighten the nut and tap filter clamp until the coils touch.

### WARNING



DO NOT tighten the nut or attempt to adjust the clamp ring or lid while the system is turned on or under pressure. This could cause the lid to separate from the filter

## Start-Up Instructions

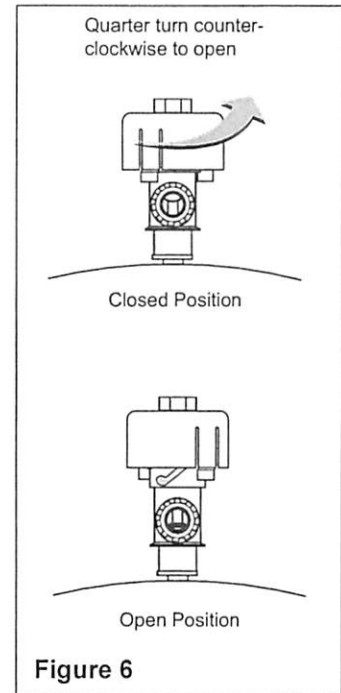
### ⚠ WARNING



Follow these instructions exactly to prevent the lid from separating from the filter during system start-up or operation. See *Important Safety Instructions*, page ii-iii.

1. Be sure the **spring on the clamp ring is fully compressed, with coils touching.**
2. Open the High Flow™ Manual Air Relief Valve by turning the valve cover assembly a quarter turn counter-clockwise, until it snaps into the full open position. See **Figure 6**.
3. Stand clear of the filter tank, then start the pump.
4. Watch for proper operation. The system is not working properly if:
  - a. The pressure gauge indicates pressure before water out-flow appears.
  - b. A solid stream of water does not appear within 30 seconds after the pump's inlet basket fills with water.
  - c. Water leaks from where the two halves of the filter come together.

If any of these conditions exist, **shut off the pump immediately**. Open the manual air relief valve to relieve pressure and clean the valve (see *Cleaning the Manual Air Relief Valve*, page 7). If the problem persists, call Pentair Technical Service at (800) 831-7133 for assistance.
5. After a steady stream of water appears, close the manual air relief valve by turning the valve cover assembly a quarter turn clockwise.
6. The first time the system is started up, fill out Table 1 on page 1 and the corresponding label on the equipment:
  - a. Record the "Original Starting Pressure"
  - b. Fill in the pressure at which to clean the filter (8-10 psi higher than the "Original Starting Pressure").
  - c. If the system includes a variable speed pump, record "Original Pump RPM".





## MAINTENANCE

### Maintaining the Pressure Gauge

The pressure gauge is the primary indicator of how the system is operating, so correct functioning is critical. Replace the pressure gauge (Pentair P/N 190058) if it does not meet the requirements below:

1. Pressure gauge should go to zero (0) when the system is turned off and pressure is relieved.
2. Pressure gauge should indicate pressure when the system is operating.
3. The pressure gauge should be readable and not damaged in anyway

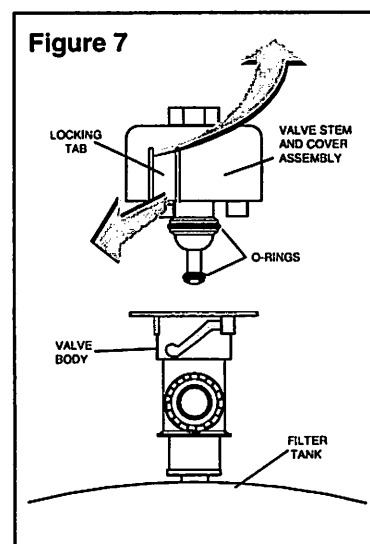
### Cleaning the Manual Air Relief Valve

#### RECOMMENDED EQUIPMENT:

- 5/16" Drill Bit (to check air passage)
- Silicone-based Lubricant (if needed)

#### PROCEDURE:

1. Shut off pump and relieve pressure.
  - a. Turn the pump OFF and shut OFF any automatic controls (e.g., timers) and disconnect power to ensure that the system is not inadvertently started during maintenance.
  - b. Open the manual air relief valve by turning the valve cover assembly a quarter turn counter-clockwise until it snaps into the full open position.
  - c. Stand clear of the filter and wait until all pressure is relieved. **Pressure gauge must read zero (0 psi).**
2. With the relief valve attached to the Clean and Clear® Plus Cartridge Filter tank, pull out the locking tabs and unlock the valve stem and cover assembly from the valve body with a counter-clockwise turn, see **Figure 7**.
3. Pull the valve stem and cover assembly straight up and away from the valve body.
4. Clean and check the valve stem and body:
  - a. Clean off any debris.
  - b. Verify that the filter tank's air passage is open by inserting a 5/16" drill bit through the valve body.
  - c. Verify that the valve stem O-rings are in good condition, properly positioned, and lubricated with a silicone-base lubricant.



#### CAUTION

If needed, use only a PTFE or silicone-base lubricant on the O-rings. Use of petroleum based products on O-rings will damage the equipment.

5. Reinstall the valve stem and cover assembly with a downward and clockwise motion until it snaps into position.

## When to Clean Your Filter

Proper operation can prevent avoidable repairs and maintenance.

Use the pressure gauge to determine when to clean your Clean and Clear® Plus Cartridge Filter for proper operation. The pressure reading increases as dirt is filtered from your pool. This buildup of pressure will vary due to different bathing loads, temperature, environmental conditions, etc.

### ⚠ WARNING



Clean your filter when pressure reads between 8-10 psi higher than the "Original Starting Pressure" recorded in Table 1 (page 1), or when significant reduction in flow is noticed.

**Note:** When using a variable speed pump the "Original Starting Pressure" will be dependent on the pump speed (RPM) when recording the original operating pressure.

## Cleaning the Filter Cartridges

1. Follow *Opening the Filter* (page 4) exactly.
2. Remove hair and lint strainer pot lid from the pump and clean basket. Replace strainer basket and secure strainer pot lid.
3. Remove the compression spring and spring adapter by pulling them straight up.
4. Separate the top manifold from the filter's cartridges and lay the manifold to the side. See **Figure 8**.
5. Carefully remove each cartridge element separately.
6. Using a garden hose with a straight flow nozzle, wash down the entire filter element. Wash from the top down, holding the nozzle at a 45-degree angle to the cartridge (See **Figure 9**). Pay special attention to the area between pleats.
7. For cartridges used in pools or spas where high levels of perspiration, suntan lotions and other oils are present:
  - a. Soak the cartridge for at least one hour (overnight is most effective) in one of the following:
    - A commercial filter cleaner

### ⚠ WARNING

Heed all manufacturers' instructions and warnings when using polyhexamethylene biguanide sanitizers or other cartridge filter cleaner solutions.

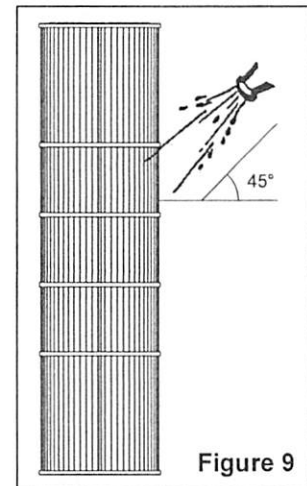
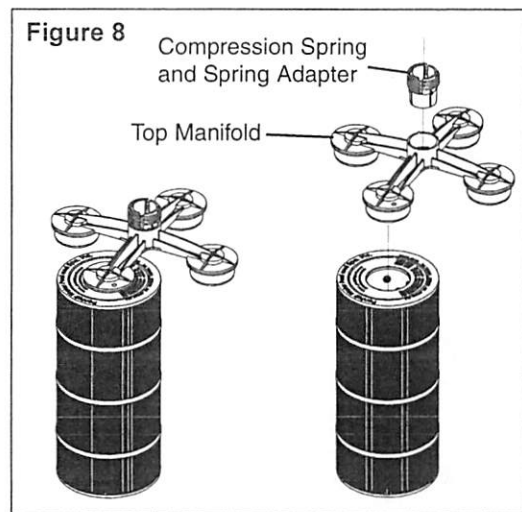
- One cup trisodium phosphate (TSP) to five gallons of water
  - One cup dishwasher detergent to five gallons of water
- b. Rinse the cartridge to remove oils and cleaning solution.

### ⚠ CAUTION

Failure to remove all oils and cleaning solutions before acid soaking will result in permanent restriction of water flow through the filter and will cause premature cartridge failure.

8. Direct the water spray to wash out the inside of the tank body and bottom manifold. Water and debris will drain out through the open drain plug.
9. Check gasket around outer lip of bottom plate. Gasket must be firmly and evenly set around the entirety of the outer lip.
10. Place bottom manifold, four (4) cartridges and top manifold in place. Make sure the spring and standpipe assembly are retained on the top manifold.
11. Be certain the O-ring is in position in the lower tank half and free of debris.
12. Follow *Installing the Filter Lid and Clamp Ring* exactly (page 5).

**Figure 8**



**Figure 9**

## Acid Soaking the Filter Cartridges

After an extended period of operation, it may be necessary to soak the cartridges in an acid solution. Acid soaking will remove algae, calcium carbonate, iron and other mineral build-ups from the cartridges. If not removed, these mineral deposits can lead to the restriction of water flow through the Clean and Clear® Plus Cartridge Filter and can impede efficient operation of the equipment.

### ⚠ WARNING



Muriatic acid is corrosive and can lead to inflammation or burns to body tissue.

ALWAYS wear rubber gloves, safety glasses and an N-95 dust mask when handling acid to prevent serious bodily injury.

### ⚠ CAUTION

To prevent degradation of the acid by UV light, store muriatic acid in an opaque container and away from direct sunlight.

### RECOMMENDED EQUIPMENT:

- Large Plastic Container
- Garden Hose with a Straight Flow Nozzle
- Muriatic Acid (stored in opaque container)
- Rubber Gloves
- Safety Glasses
- N-95 Dust Mask

### PROCEDURE:

1. Remove all oils and cleaning solutions from the cartridges.

### ⚠ CAUTION

Acid soaking without performing this step will result in permanent restriction of water flow through the filter and premature cartridge failure.

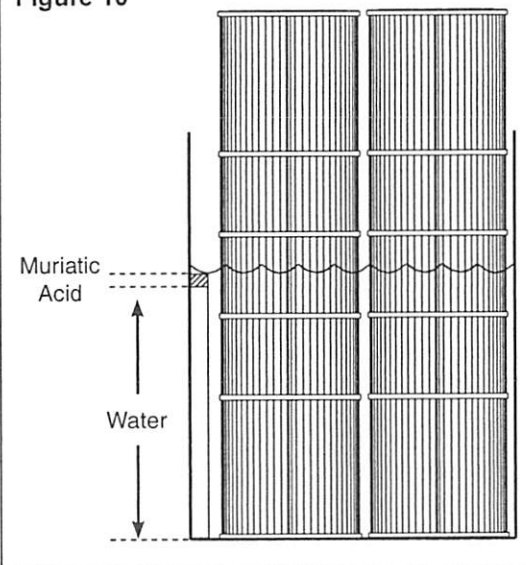
2. Put on protective equipment - rubber gloves, safety glasses and N-95 dust mask.
3. In a large plastic container, create a solution of one part muriatic acid to twenty parts water. See **Figure 10**.

### ⚠ WARNING

Always introduce the muriatic acid as close to the water's surface as possible. This will minimize splash and reduce the risk of user contact with the acid.

4. Gently place the bottom of the cartridges into the acid solution. Allow the cartridges to soak in the solution for 10 minutes, or until bubbling stops.
5. Turn the cartridges over, placing the top halves into the solution. Allow the top halves of the cartridges to soak for 10 minutes, or until bubbling stops.
4. Remove the cartridges from the acid solution.
5. Using a garden hose with a straight flow nozzle, thoroughly wash down the entire filter element. Wash from the top down, holding the nozzle at a 45-degree angle to the cartridge. See **Figure 9**, on page 8.
6. Reinstall the cartridges and dispose of the acid solution in accordance with local regulations.

Figure 10



## Replacing Filter Cartridges

Filter cartridge element life will vary with pool conditions such as bather load, wind, dust, etc. You can expect an average cartridge life of three (3) years under normal conditions.

### TO REPLACE FILTER CARTRIDGES:

1. Follow *Opening the Filter* exactly (page 4).
2. Remove the compression spring and spring adapter by pulling them straight up. Once the spring and spring adapter have been removed, separate the top manifold from the filter cartridges and lay the manifold to the side. See **Figure 6**.
2. Carefully remove each cartridge element separately.
3. Check gasket around outer lip of bottom plate. Gasket must be firmly and evenly set around the entirety of the outer lip.
4. Install the replacement cartridges onto the bottom manifold. Reinstall the top manifold on to the new cartridges.

**Note:** Be sure the spring and standpipe assembly are retained on the top manifold.

5. Follow *Installing the Filter Lid and Clamp Ring* exactly (page 5).

## TROUBLESHOOTING

### 1. AIR ENTERING THE SYSTEM.

Air entering your Clean and Clear® Plus Cartridge Filter can cause lid separation. Correct any conditions in your filtration system that allow air to enter the system.

**⚠ WARNING**

Air entering the system can cause the lid to separate from the filter. If the below symptoms are observed, do not attempt to remove or tighten the clamping system or perform any other servicing until you have shut off pump and relieved all air and pressure in accordance with the Opening the Filter instructions (page 4). See *Important Safety Instructions*, page ii-iii.

**Symptoms:**

- Low water level in pool or spa - skimmer starving for water with pump running.
- Air bubbles or low water level in pump hair and lint pot
- Air bubbles coming out of water return lines into pool or spa with pump running
- Air is discharged from the air/pressure relief valve on top of the filter when the valve is opened with the pump running.

**Potential Causes and Solutions:**

- Low water level: *Add water to pool or spa.*
- Clogged skimmer basket: *Unclog.*
- Damaged or leaking components (e.g., split suction cleaner hose, leak in pump hair and lint pot lid, or leak in pump suction line): *Repair or replace component.*

### 2. SHORT FILTER CYCLES BETWEEN CLEANING.

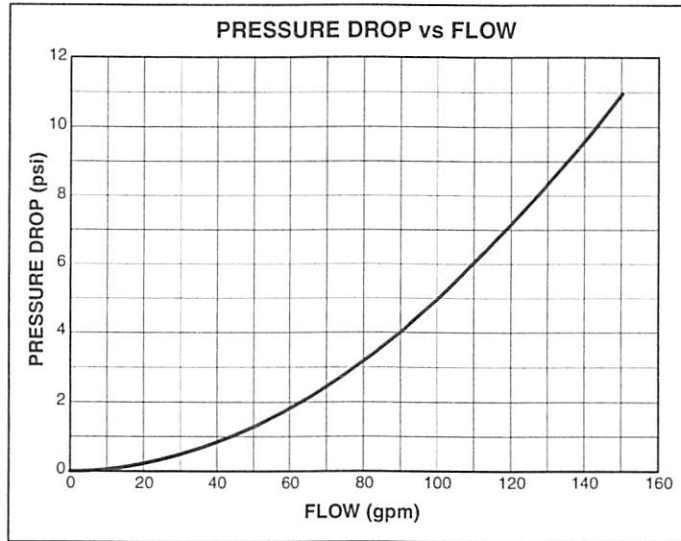
Until the water initially put into the pool has been completely filtered, short filter cycles in between cleanings are normal. In most cases pool owners are dismayed by the undesirable color and appearance of water in a newly filled pool. Plaster dust can be responsible for short filter cycles, requiring frequent cleaning.

### 3. PRESSURE DROP ON GAUGE.

If pressure drops on gauge, check skimmer basket and pump basket first for debris. If the baskets are clean, there is likely a problem with the pump. Refer to pump manual for pump troubleshooting.

# TECHNICAL DATA

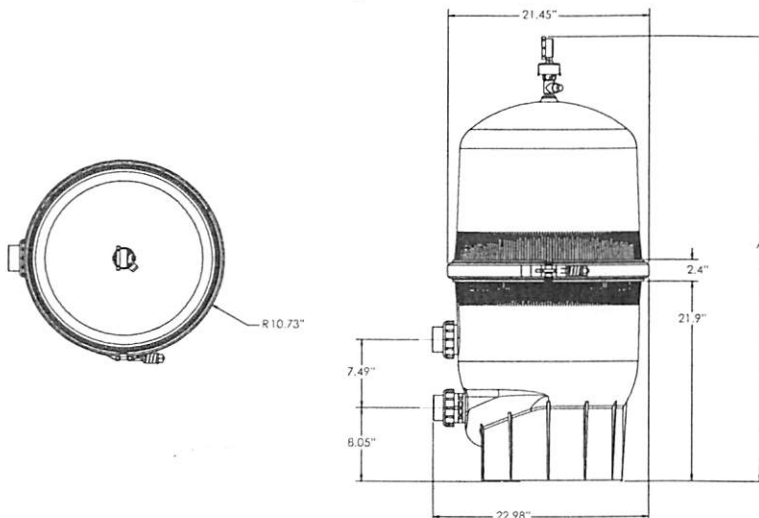
## Flow Rates



Clean and Clear® Plus Cartridge Filters						
Recommended Flow Rate						
Model #	Filter Area (Sq. Ft.)	Vertical Clearance*	Flow Rate (GPM)	Turnover Capacity (Gallons)		
				6 Hours	8 Hours	12 Hours
CCP240	240	56 in.	90	32,400	43,200	64,800
CCP320	320	62 in.	120	43,200	57,600	86,400
CCP420	420	68 in.	150	54,000	72,000	108,000
CCP520	520	74 in.	150	54,000	72,000	108,000

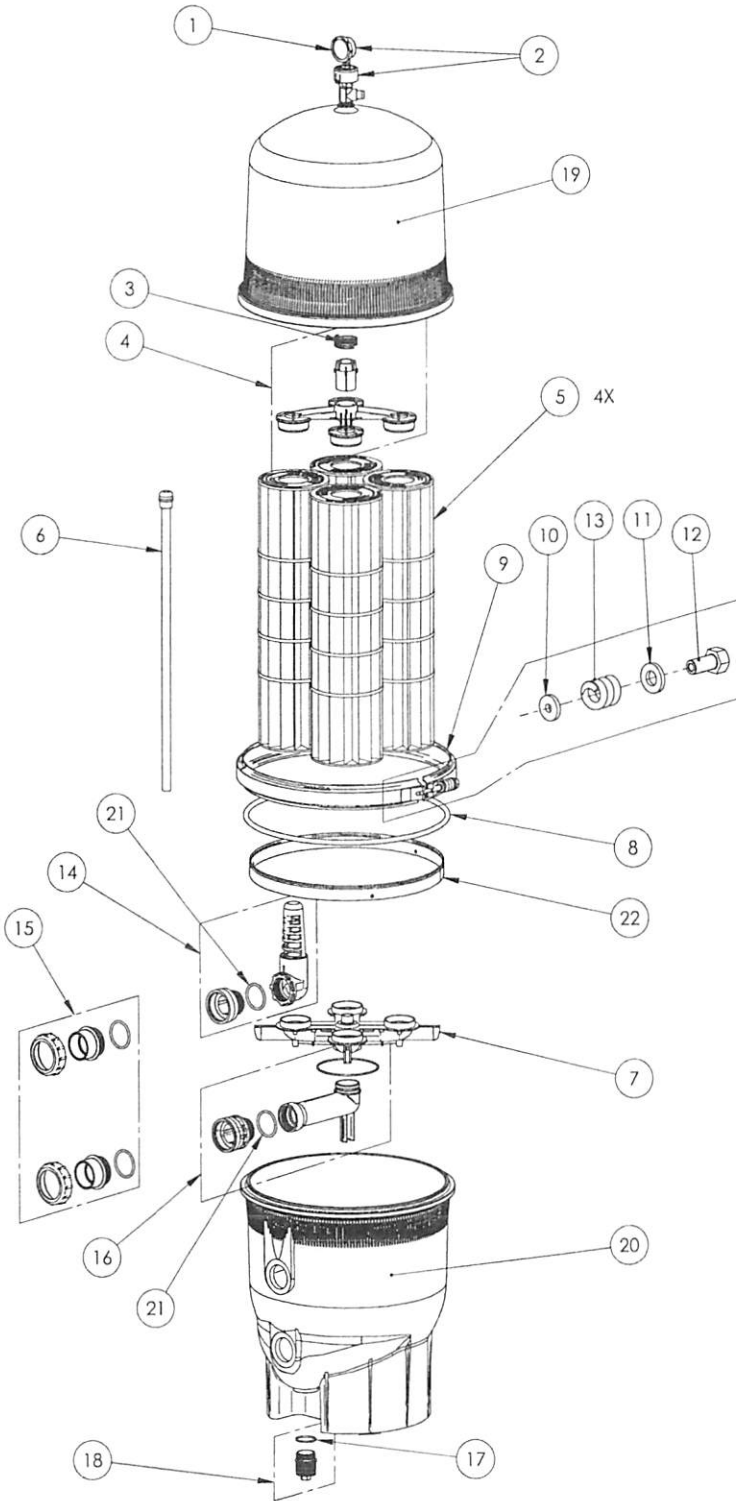
NOTE: Actual system flow will depend on plumbing size and other system components.  
 \* Required Clearance to remove filter elements and lid.

## Dimensional Drawings



MODEL	DIM "A"
CCP 240	37"
CCP 320	43"
CCP 420	49"
CCP 520	56"

# REPLACEMENT PARTS



Item No.	Part No.	Description
1	190058	Pressure Gauge, with Indicator
2	98209800	High Flow Manual Air Relief Valve (HFMARV)
3	178616	Compression Spring
4	170026	Top Manifold, C&C 240
	170027	Top Manifold, C&C 320/420/520
5	R173572	Cartridge Element, C&C 240, 4 req.
	R174573	Cartridge Element, C&C 320, 4 req.
	R173576	Cartridge Element, C&C 420, 4 req.
	R173578	Cartridge element, C&C 520, 4 req.
6	170030	Air Bleed Tube Assy., C&C 240
	170029	Air Bleed Tube Assy., C&C 320
	170028	Air Bleed Tube Assy., C&C 420
	178583	Air Bleed Tube Assy., C&C 520
7	170040	Bottom Manifold
8	39010200	O-ring, Tank Clamp (.470 O.D.)
9	190003	Clamp Band Replacement Kit
10	195610	Clamp Washer, Small I.D.
11	195611	Clamp Washer, Large I.D.
12	194997	Clamp Nut
13	195612	Clamp Spring, 4-Coil
14	190039	Baffle Assy., C&C Plus
15	98960311	Union Kit, Black
	271096	2" Valve Adapter Kit, 1 1/2 in. x 2 in. (set), White
	270004	2" Valve Adapter Kit, 1 1/2 in. x 2 in. (set), Black
	274426Z	2 x 2.5" Valve Adapter Kit,
16	170036	Pipe Assy. Outlet
17	190143	O-ring, Drain
18	190030	Drain Plug, without O-Ring
19	170023	Tank, Lid Assy., C&C 240
	170024	Tank, Lid Assy., C&C 320
	178581	Tank, Lid Assy., C&C 420
	178582	Tank, Lid Assy., C&C 520
20	178578	Tank, Bottom Assy. (Includes items 7, 14, 16 and 18)
21	86006900	O-ring
22	195339	Ring, Steel Back-up
-	192019	Drain Plug Wrench
-	171013	Label Kit w/ Air Relief, C&C 240
-	171014	Label Kit w/ Air Relief, C&C 320/420/520
-	190106Z	Air Bleed Screen Cap

(-) Not Shown

## NOTES

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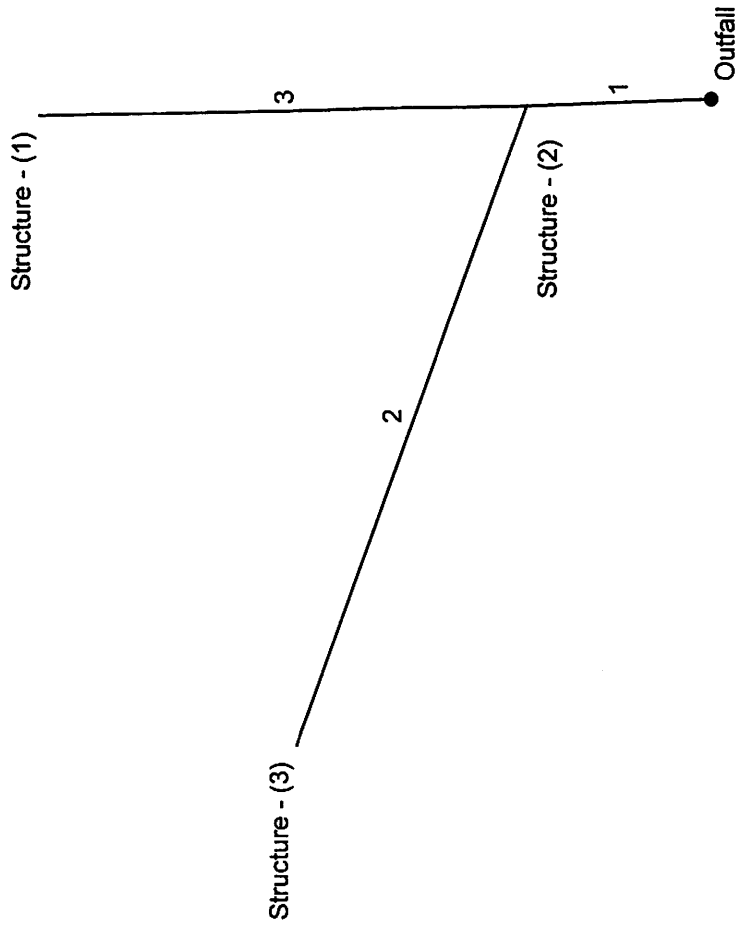
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3/22/21  
DMH

**PETERS/ROSENBROOK  
99 MACEDONIA ROAD  
STORM DRAINAGE CALCULATIONS**

<b>STORM DRAINAGE LAYOUT PLAN</b>	<b>1</b>
<b>100YR STORM SYSTEM ANALYSIS</b>	<b>2</b>
<b>SYSTEM PROFILE, PIPES #3-#1</b>	<b>3</b>
<b>SYSTEM PROFILE, PIPES #3-#2</b>	<b>4</b>
<b>OUTLET PROTECTION VELOCITY CHECK FOR 100YR STORM</b>	<b>5</b>
<b>CATCHMENT AREAS</b>	<b>6</b>

# Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan

S.A.



Project File: Culvert #1 REV2.stm

Number of lines: 3

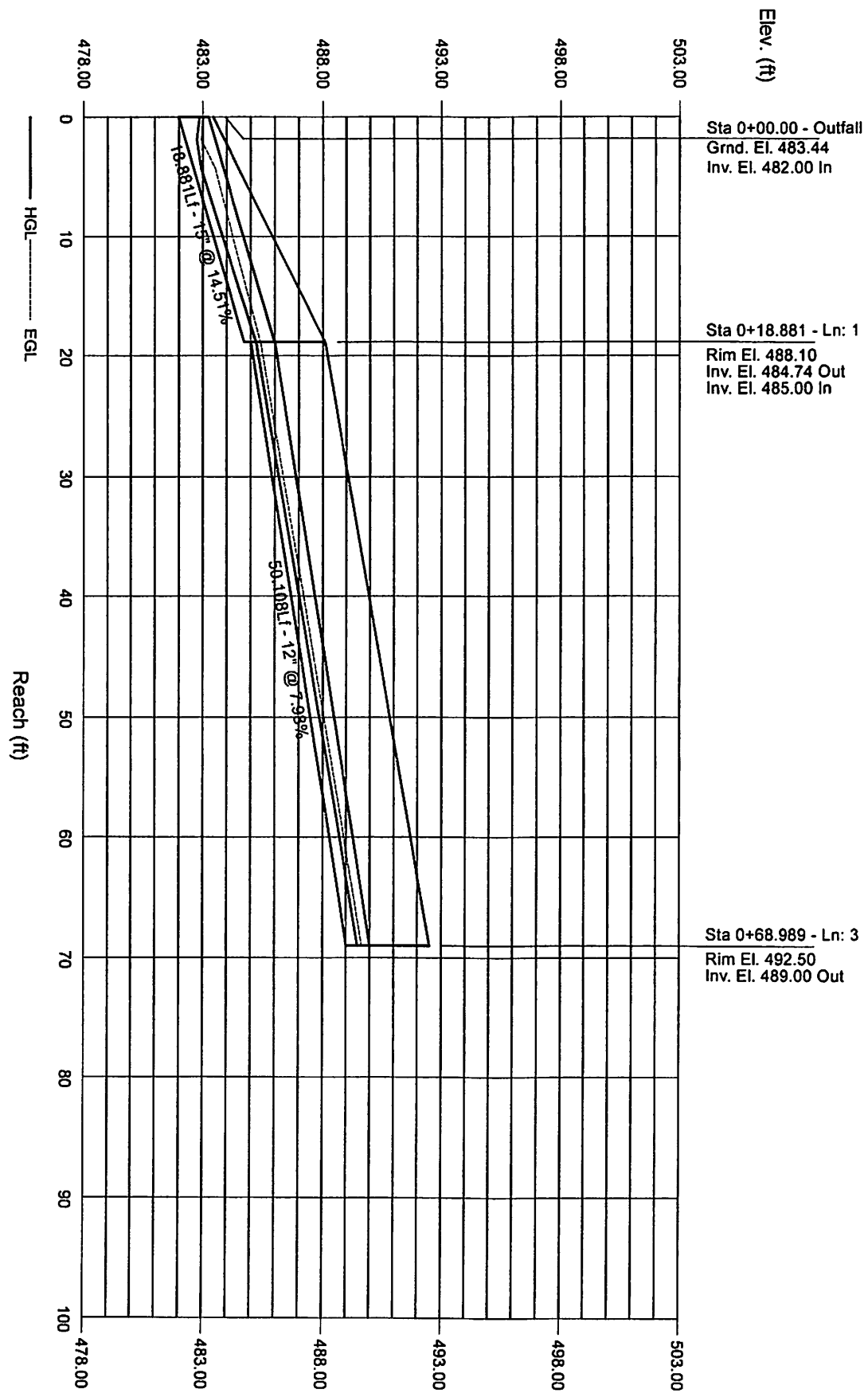
Date: 3/21/2021

Line	To Line	Line Length (ft)	Incr. Area (ac)	Total Area (ac)	Runoff Coeff. (C)	Incr C x A	Total C x A	Inlet Time (min)	Time Conc (min)	Rnfall Int (in/hr)	Total Runoff (cfs)	Adnl Flow (cfs)	Total Flow (cfs)	Capac Full (cfs)	Veloc (ft/s)	Pipe Size (in)	Pipe Slope (%)	Inv Elev Dn (ft)	Inv Elev Up (ft)	HGL Dn (ft)	HGL Up (ft)	Grnd/Rim Dn (ft)	Grnd/Rim Up (ft)	Line ID
1	Outfall	18.881	0.00	0.32	0.00	0.00	0.16	0.0	6.9	9.2	1.47	0.00	1.47	26.65	2.51	15	14.51	482.00	484.74	482.86	485.22	483.44	488.10	Pipe - (3)
2	1	69.382	0.05	0.05	0.50	0.03	0.03	1.8	1.8	9.8	0.25	0.00	0.25	2.03	3.13	8	2.41	485.33	487.00	485.49	487.23	488.10	488.80	Pipe - (2)
3	1	50.108	0.27	0.27	0.50	0.14	0.14	6.8	6.8	9.2	1.25	0.00	1.25	10.90	6.33	12	7.98	485.00	489.00	485.23	489.47	488.10	492.50	Pipe - (1)

5.4.

# Storm Sewer Profile

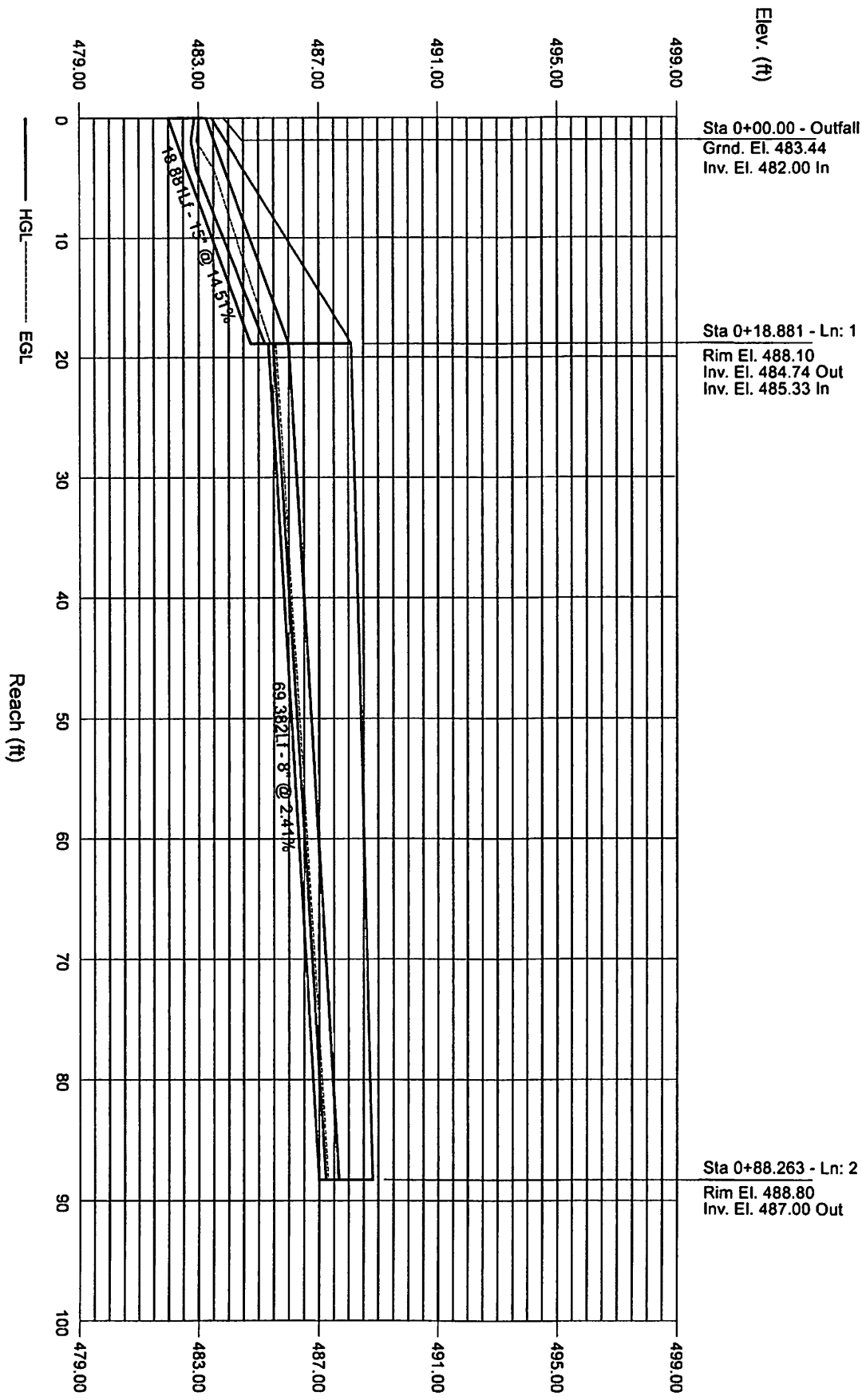
Proj. file: Culvert #1 REV2.stm



5.14.

# Storm Sewer Profile

Proj. file: Culvert #1 REV2.stm



5.4.

S.A.

# Weir Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Sunday, Mar 21 2021

## LEVEL SPREADER/OUTLET PROTECTION

### Rectangular Weir

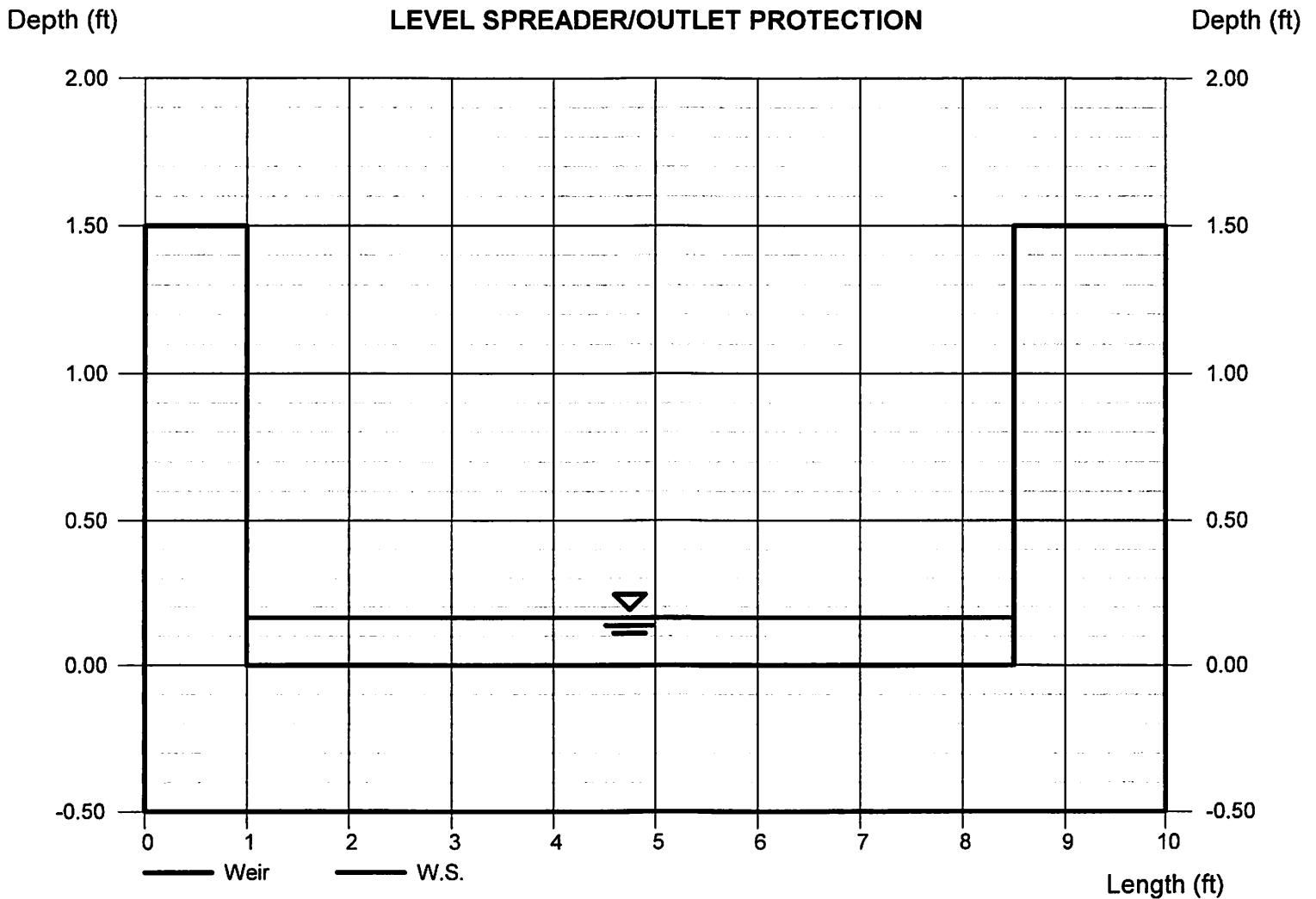
Crest = Broad  
Bottom Length (ft) = 7.50  
Total Depth (ft) = 1.50

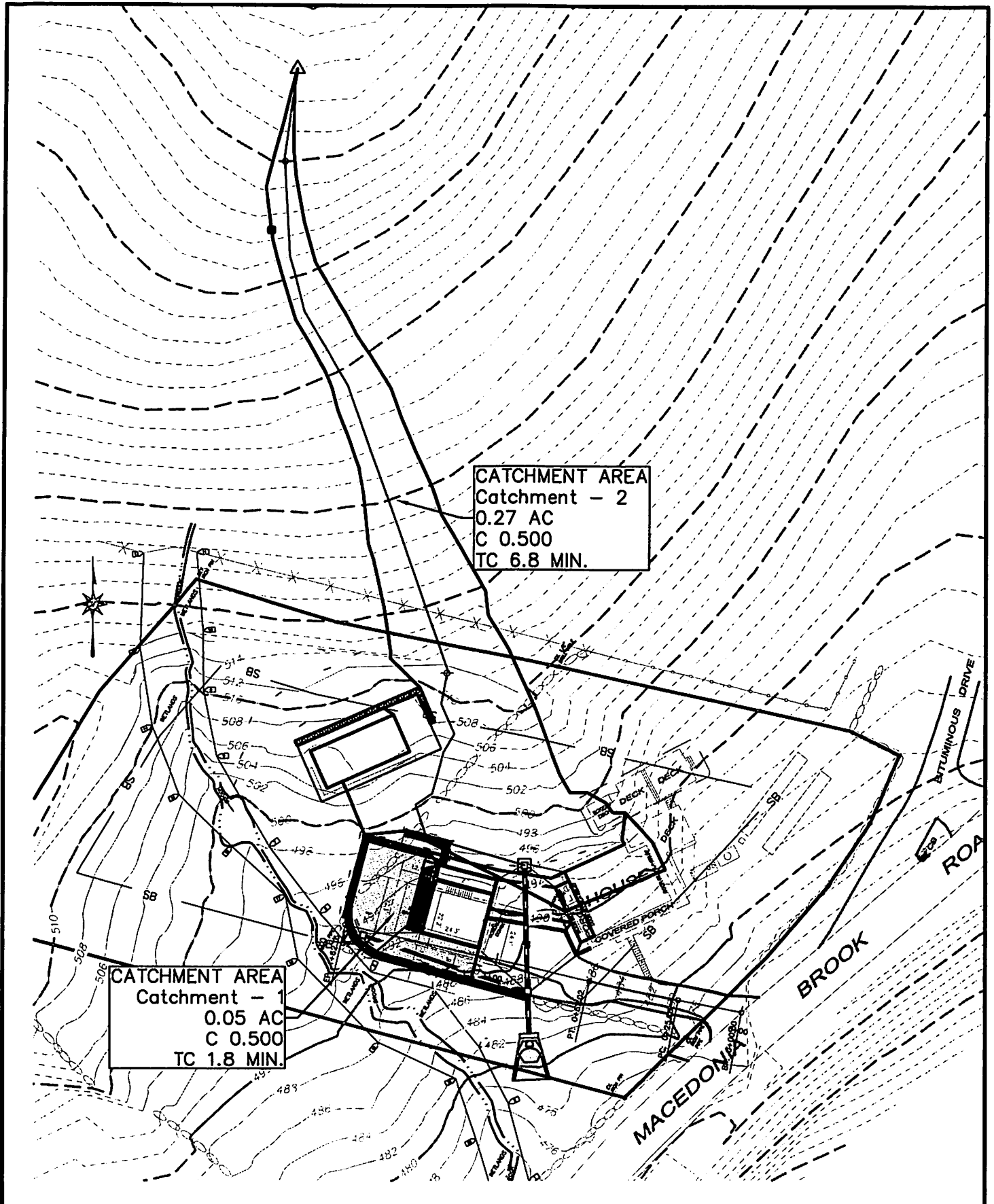
### Highlighted

Depth (ft) = 0.16  
Q (cfs) = 1.290  
Area (sqft) = 1.23  
Velocity (ft/s) = 1.05  
Top Width (ft) = 7.50

### Calculations

Weir Coeff. Cw = 2.60  
Compute by: Known Q  
Known Q (cfs) = 1.29





CATCHMENT AREA  
Catchment - 2  
0.27 AC  
C 0.500  
TC 6.8 MIN.

CATCHMENT AREA  
Catchment - 1  
0.05 AC  
C 0.500  
TC 1.8 MIN.

STORM DRAINAGE CATCHMENT AREAS

99 MACEDONIA BROOK ROAD  
KENT, CONNECTICUT

Date: 03-19-21

Job #: 20-128

Scale: 1" = 50'  
(Unless shown otherwise)

Sheet: 1

