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**TOWN OF KENT
PLANNING AND ZONING COMMISSION
41 Kent Green Boulevard
P.O. Box 678
Kent, CT 06757
Phone (860) 927-4625 Fax (860) 927-4541**

RECEIVED FOR RECORD
KENT TOWN CLERK

2021 APR 12 A 10: 23

J. Bailey
TOWN CLERK

**APRIL 8, 2021 REGULAR MEETING MINUTES
VIA ZOOM CONFERENCE**

The Town of Kent Planning and Zoning Commission held a regular meeting on Thursday, April 8, 2021 at 7:00 p.m.

1. CALL TO ORDER

Chair Winter called the meeting to order at 7:03 p.m.

2. ROLL CALL AND APPOINTMENT OF ALTERNATES IF REQUIRED

Commissioners Present: Matthew Winter, Adam Manes, Darrell Cherniske, Alice Hicks, David Birnbaum, Anne McAndrew, Marc Weingarten

Staff Present: Donna Hayes, Land Use Administrator and Tai Kern, Land Use Clerk

Anne McAndrew was elevated to voting status

3. READING AND APPROVAL OF MINUTES:

3.A. Regular Meeting Minutes of March 11, 2021.

Mr. Manes moved to approve the Regular Meeting Minutes of March 11, 2021. Mr. Cherniske seconded and the motion carried unanimously.

4. PUBLIC COMMUNICATIONS (ORAL):

N/A

5. OLD BUSINESS:

5.A. PUBLIC HEARINGS (Possibility of closure, discussion and decision on the following):

5.A.1. Application #'s 11-21SP and 12-21C, David Bouley, 16 Longview Road, Map 11 Block 40 Lot 49, conversion of existing barn/garage into a 2-bedroom detached dwelling unit.

The public hearing was reopened at 7:07 pm. It was noted that the site plan requested was never submitted. Donna Hayes reported that she reached out to Mr. Bouley; however, has not heard back.

**TOWN OF KENT PLANNING AND ZONING COMMISSION
REGULAR MEETING MINUTES FOR APRIL 8, 2021**

These are draft minutes. Corrections may be made by the Commission at the subsequent meeting. Please refer to subsequent meeting minutes for possible corrections and approval of these minutes.

Mr. Manes moved to continue public hearing for Application #'s 11-21SP and 12-21C, David Bouley, 16 Longview Road, Map 11 Block 40 Lot 49, conversion of existing barn/garage into a 2-bedroom detached dwelling unit. Mr. Weingarten seconded and the motion carried unanimously.

5.B. DISCUSSION AND POSSIBLE DECISION

5.B.1. Planning schedule for the rewrite of the Subdivision Regulations dated June 1, 1995.

Mr. Cherniske moved to continue the planning schedule for the rewrite of the Subdivision Regulations until the next meeting. Mr. Manes seconded and the motion carried unanimously.

6. NEW BUSINESS:

6.A. PUBLIC HEARINGS: (Possibility of closure, discussion and decision on the following):

6.A.1. Application #'s 29-21SP and 30-21C, James Bernardin & Julie Chang, 13 Greenwood Lane, Map 9 Block 15 Lot 58, construction of detached dwelling unit, driveway extension, detached garage, septic and associated site work.

Chair Winter read the notice of this public hearing aloud and opened the hearing at 7:10 p.m. Donna Hayes reviewed her staff report regarding this property. She explained that the back lot is in PA 490 and the owners would like to make a new primary residence on the front lot where their current dwelling exists. Health department approval or driveway application for the extension of the driveway have not yet been received.

Mr. Winter confirmed that the site plan consists only of the front lot. He noted that a lot is missing from the plan and a request for waivers was not submitted.

It was discovered that Mr. Winter is an abutter of the property and he recused himself. Marc Weingarten came forward as acting Chair. It was determined that due to the lack of information this application should be tabled until the next meeting.

A site plan including additional information showing the other lot, a driveway permit application, and waiver requests should all be submitted for the next meeting.

Mr. Manes moved to continue public hearing for Application #'s 29-21SP and 30-21C, James Bernardin & Julie Chang, 13 Greenwood Lane, Map 9 Block 15 Lot 58, construction of detached dwelling unit, driveway extension, detached garage, septic and associated site work. Ms. Hicks seconded and the motion carried unanimously.

Chair Winter was reseated. Also, David Birnbaum was seated as a voting member.

6.B. DISCUSSION AND POSSIBLE DECISION

6.B.1. Approval of FY '21 – '22 Five Year Capital Plan.

TOWN OF KENT PLANNING AND ZONING COMMISSION REGULAR MEETING MINUTES FOR APRIL 8, 2021

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Donna Hayes reviewed the 8-24 referral process with the members and how that correlates with the Capital Plan. She explained that the BoF has not yet accepted this plan and should there be additions, it will need to come back to this Commission for approval.

Public Works Director Rick Osborne was present to answer questions and confirmed that he would return when the proposals are before the Commission for 8-24 referral.

Mr. Weingarten moved to approve that the FY '21 – '22 Five Year Capital Plan is in alignment with the goals set forth in the PoCD. Mr. Cherniske seconded.

Discussion: Donna Hayes suggested that the motion be modified with regard to any changes by the BoF as they have yet to accept this plan. Mr. Birnbaum confirmed that the presented Capital Plan would be in alignment with the PoCD with regard to the section regarding the maintenance of road and bridges. The motion was modified.

Mr. Weingarten moved to approve that the FY '21 – '22 Five Year Capital Plan is in alignment with the goals set forth in the PoCD to maintain roads and bridges and if there are any changes to the 2/10/21 plan this Commission should be consulted for further approval. Mr. Cherniske seconded and the motion carried unanimously.

6.B.2. Application #21-21C, Guy Mauri for Engine 22, LLC, 21 Bridge Street, change of use from car sales, repair, apartment, retail and contractor's office to car sales, repair, apartments (2), retail and contractor's office.

Chair Winter recused himself and Adam Manes came forward as Acting Chair.

Donna Hayes reported that she was provided with a site plan that shows the parking spaces. She found that the plan provided by Bob Hock complies with the Regulations for the proposed use of the building. She noted that the Building Official and Fire Marshal would need to confirm this change meets the respective codes.

Mr. Cherniske moved to approve application #21-21C, Guy Mauri for Engine 22, LLC, 21 Bridge Street, change of use from car sales, repair, apartment, retail and contractor's office to car sales, repair, apartments (2), retail and contractor's office. Mr. Weingarten seconded and the motion carried unanimously.

Chairman Winter was reseated.

6.B.3. Informal discussion regarding P&Z expectations of KVFD with regard to as-needed site plan review.

Chair Winter explained that they would like to speak with the KVFD regarding their concerns and what they would like the Commission to review when plans come before them. Additionally, they should advise what they would like the Commission to flag for their review when applications are received.

It was questioned whether they would like to be contacted regarding administrative approval as well as approval of commercial proposals. Donna Hayes explained that the KVFD cannot have the authority to approve or deny applications; however, they can work with the property owners to come up with an appropriate plan.

TOWN OF KENT PLANNING AND ZONING COMMISSION
REGULAR MEETING MINUTES FOR APRIL 8, 2021

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Adam Manes suggested that the Commission include the KVFD requirements as part of the driveway permit review. Mr. Weingarten questioned why the Fire Marshal would not be involved in this type of review. Donna Hayes confirmed that the Fire Marshal does review the site plan ahead of it being presented to the Commission for commercial projects and multi-family dwellings. She explained that the project engineer is aware of the codes with regard to residential properties. Adam Manes suggested that Donna Hayes review the applications in conjunction with the turning radius provided by the KVFD. Rick Osborne opined that simply the widths and grades should be followed as written in the Regulations.

Mr. Manes moved that the LUO draft a letter to the KVFD asking what they would like the Commission to look for when reviewing the applications. Mr. Birnbaum seconded and the motion carried unanimously.

6.B.4. Creation of subcommittee for the review of RFP's submitted for the update of the Plan of Conservation and Development.

Chair Winter reported that three proposals were received and a subcommittee must be formed to review these proposals, ask any necessary questions and make a recommendation back to the Commission.

Mr. Birnbaum moved to establish a subcommittee including members Winter, Weingarten and Birnbaum to review proposals for PoCD on April 15, 2021 and present their recommendations at the next meeting. Mr. Manes seconded and the motion carried unanimously.

6.B.5. Application #32-21C, Paul Szymanski, P.E., Arthur H. Howland & Associates for Jonathan Chaplin & Rona Yujung Kim, 32 Mountain Road, Map 12 Block 40 Lot 15, construction of new inground pool, terrace, shed and related site work within the Horizonline Conservation District.

Donna Hayes reviewed her staff report noting that the majority of the property is in the HorizonLine. The existing garage is proposed to be converted into a guest house. She explained that a change of use is required in order for that to be legal when they install the kitchen.

Paul Szymanski reported that only the well, septic and the leaching fields are within the HorizonLine. There will be no trees removed within the HorizonLine.

Mr. Cherniske questioned whether there will be any issues with ledge that will impact the tree line when installing the pool. Mr. Szymanski confirmed that the pool is in a flat area and confirmed that ledge will not be an issue. He noted residential style light fixtures will be utilized.

Mr. Weingarten moved to approve application #32-21C, Paul Szymanski, P.E., Arthur H. Howland & Associates for Jonathan Chaplin & Rona Yujung Kim, 32 Mountain Road, Map 12 Block 40 Lot 15, construction of new inground pool, terrace, shed and related site work within the Horizonline Conservation District provided that any lighting will be full cutoff downward facing and there shall be no kitchen installed in the existing garage. Mr. Manes seconded and the motion carried unanimously.

6.B.6. Modification to site plan #62-15C, Arthur H. Howland & Associates, P.C., Kent Center, LLC, 9 Maple Street, Map 19 Block 42 Lot 35, modification to include new signage for Kensie Barnes Fine Art at 5 Fulling Lane.

**TOWN OF KENT PLANNING AND ZONING COMMISSION
REGULAR MEETING MINUTES FOR APRIL 8, 2021**

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Donna Hayes reported that this is an additional business location at #5 Fulling Lane. The projecting sign proposed is in line with the alternative signage program.

Mr. Manes moved to approve modification to site plan #62-15C, Arthur H. Howland & Associates, P.C., Kent Center, LLC, 9 Maple Street, Map 19 Block 42 Lot 35, modification to include new signage for Kensie Barnes Fine Art at 5 Fulling Lane. Mr. Weingarten seconded and the motion carried unanimously.

7. STAFF REPORT:

7.A. The Commonwealth of Massachusetts House Docket #2405 regarding a special act for the funding of a study of passenger service on the Housatonic rail line.

Donna Hayes reported on this House Bill regarding passenger service on the Housatonic rail line. She wanted the Commission to be aware that Massachusetts is going forward with this. She will follow the progress of this House Bill. She noted that there have been discussions in Connecticut with regard to a freight line.

8. REPORT OF OFFICERS AND COMMITTEES:

8.A. Subdivision Regulation Sub-Committee -.

Previously tabled

9. OTHER COMMUNICATIONS AND CORRESPONDENCE:

9.A. Administrative Permits and Certificates of Compliance – January 11, 2021 to February 5, 2021- reviewed

10. **EXECUTIVE SESSION: Pending Litigation: High Watch Recovery Center, Inc. v Town of Kent Planning and Zoning Commission in Superior Court, Judicial District of Litchfield at Torrington dated November 27, 2020. Discussion of strategy and negotiations with legal counsel.**

Donna Hayes noted that there is nothing new to report regarding this matter.

11. Open session involving discussion and possible action on Pending Litigation: High Watch Recovery Center, Inc. v Town of Kent Planning and Zoning Commission in Superior Court, Judicial District of Litchfield at Torrington dated November 27, 2020.

The group agreed that they would continue to follow the recommendations of the Attorney and have Donna Hayes report back to the Commission as this matter progresses.

ADJOURNMENT

Mr. Weingarten moved to adjourn at 9:03 p.m. Mr. Cherniske seconded and the motion carried unanimously.

Respectfully submitted,

Tai Kern
Tai Kern, Land Use Clerk


RECEIVED

By Darlene Brady at 8:53 am, Apr 16, 2021

TOWN OF KENT
PLANNING AND ZONING COMMISSION
 41 Kent Green Boulevard, P.O. Box 678, Kent, CT 06757

The POCD RFP Review Subcommittee held a special meeting on Thursday, April 15, 2021, at 7:00 p.m. via zoom.

1. CALL TO ORDER

Mr. Winter called the meeting to order at 7:06 p.m.

2. ROLL CALL AND APPOINTMENT OF ALTERNATES IF REQUIRED

Commissioners Present: Matthew Winter, David Birnbaum, Marc Weingarten
 Staff Present: Donna Hayes, Land Use Administrator
 Guests Present: Mr. Kevin Grindle and Mr. John Steinmetz from Anchor/Barton & Loguidice

3. NEW BUSINESS:

3.A. POCD Bid Opening in Response to RFP due March 26, 2021.

In order to save time, it was decided that the RFP's would be officially opened tonight and will be discussed at a special meeting scheduled for Thursday, April 22nd at 7:00 p.m. This would give the subcommittee some time to review each proposal. It was decided that a google doc will be created by Mr. Birnbaum containing questions for each submitter and circulated to each member of the subcommittee. All questions will be submitted to Donna Hayes for distribution to each submitter.

The RFP's were officially opened in order of receipt:

1. Planimetrics – opened at 7:13 p.m.
2. FHI Studio – opened at 7:13 p.m.
3. Anchor, a Barton & Loguidice Company – opened at 7:14 p.m.

Since both Mr. Grindle and Mr. Steinmetz were present at the meeting, the subcommittee asked for a brief introduction and background history. Mr. Birnbaum would like to see the other applicants have the same opportunity to present a brief introduction and background history if they are present at the April 22nd meeting. Both Mr. Winter and Mr. Weingarten agreed.

TOWN OF KENT PLANNING AND ZONING COMMISSION
SPECIAL MEETING MINUTES FOR APRIL 15, 2021

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4. ADJOURNMENT

Mr. Birnbaum move to adjourn at 7:45 pm. Mr. Winter seconded and the motion carried unanimously.

Respectfully submitted,

Donna M. Hayes

Donna M. Hayes, CZEO

TOWN OF KENT PLANNING AND ZONING COMMISSION
SPECIAL MEETING MINUTES FOR APRIL 15, 2021

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RECEIVED
By Darlene Brady at 9:25 am, Apr 30, 2021

TOWN OF KENT
PLANNING AND ZONING COMMISSION
41 Kent Green Boulevard, P.O. Box 678, Kent, CT 06757

The POCD RFP Review Subcommittee held a special meeting on Thursday, April 29, 2021, at 7:00 p.m. via zoom.

1. CALL TO ORDER

Mr. Winter called the meeting to order at 7:06 p.m.

2. ROLL CALL AND APPOINTMENT OF ALTERNATES IF REQUIRED

Commissioners Present: Matthew Winter, David Birnbaum, Marc Weingarten
Staff Present: Donna Hayes, Land Use Administrator
Guests Present: Glenn Chalder of Planimetrics
Rory Fitzgerald, Francisco Gomes and Ken Livingston of FHI
John Steinmetz, Kevin Grindle, John Gruszowski and Molly of B&L

3. NEW BUSINESS:

3.A. Discussion with RFP submitters for the rewrite of the 2012 Plan of Conservation and Development.

As discussed at last weeks meeting, a list of questions was submitted to each of the bidders and answers were returned to the sub-committee for review in time for tonight's meeting.

Representatives from each organization were present to provide further information during a 20-minute timeframe. Additional questions were asked to better understand the specific answers presented to the sub-committee.

At the end of the individual discussion with the bidders, the sub-committee discussed their preference and why. It was decided that a short, special meeting be held on Thursday, May 6th at 6:30 pm when the subcommittee will vote on the recommendation that will be presented to the Planning and Zoning Commission at their regular meeting on May 13, 2021.

4. ADJOURNMENT

The meeting adjourned at 8:55 p.m.

Respectfully submitted,

Donna M. Hayes

Donna M. Hayes, CZEO
Land Use Administrator

TOWN OF KENT PLANNING AND ZONING COMMISSION
SPECIAL MEETING MINUTES FOR APRIL 29, 2021

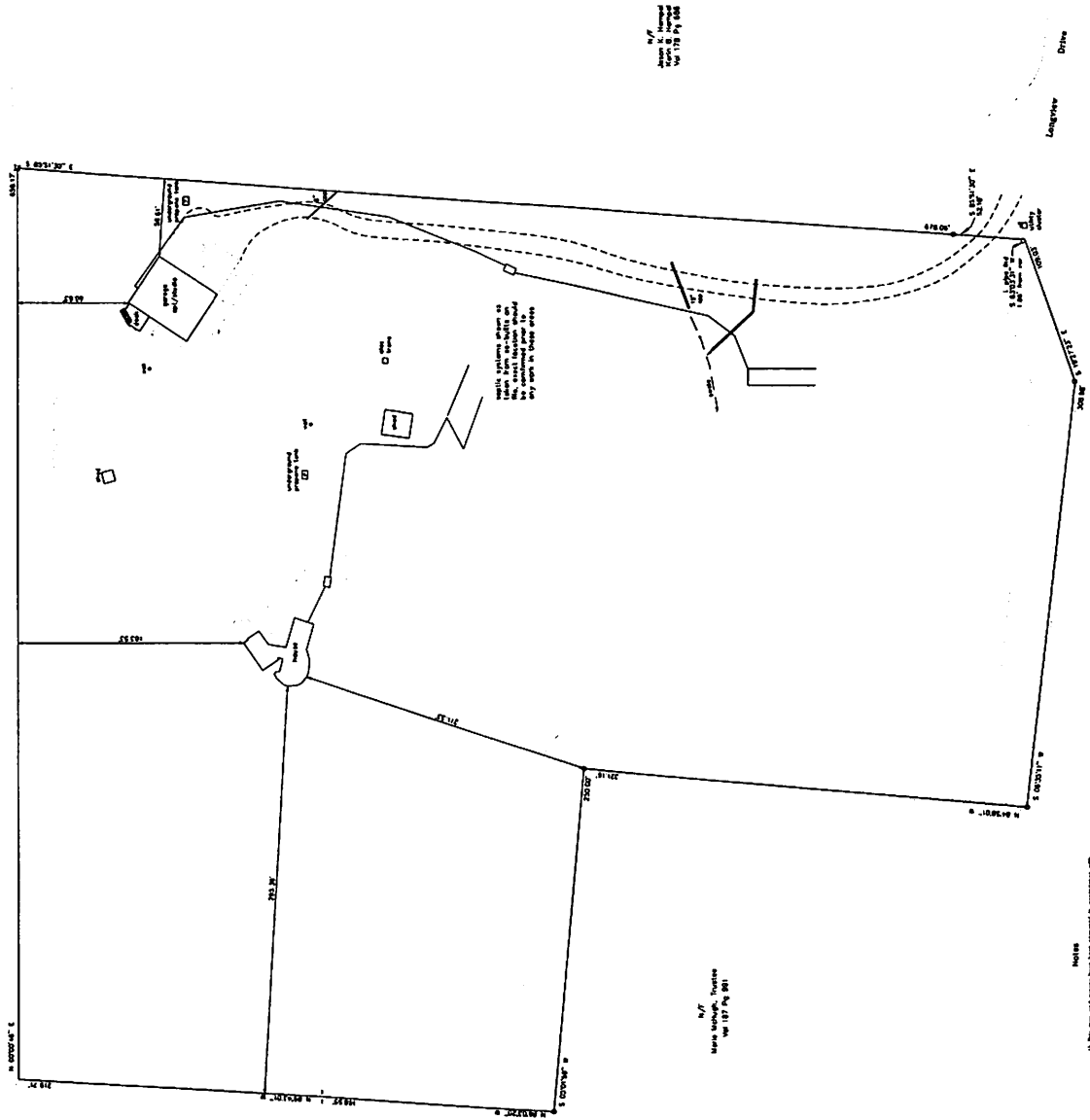
These are draft minutes. Corrections may be made by the Commission at the subsequent meeting. Please refer to subsequent meeting minutes for possible corrections and approval of these minutes.

S.a. 1

9.264 ± Acres
 Improvement Location Survey
 Map Prepared For
 David Bouley
 18 Longview Drive
 Kent, Connecticut
 Date: 11-14-88



In the knowledge and belief, that same is
 a true and correct copy of the original
 as the same appears on record herein.
 Roy V. Cheney
 Roy V. Cheney L.L.S. # 18468
 Bethel, Connecticut
 State of Connecticut
 Surveyor



D.R. U.C.
 Vol 137 Pg 185

M.F.
 Vol 137 Pg 185

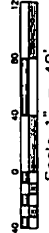
M.F.
 Vol 137 Pg 981

M.F.
 Vol 137 Pg 981



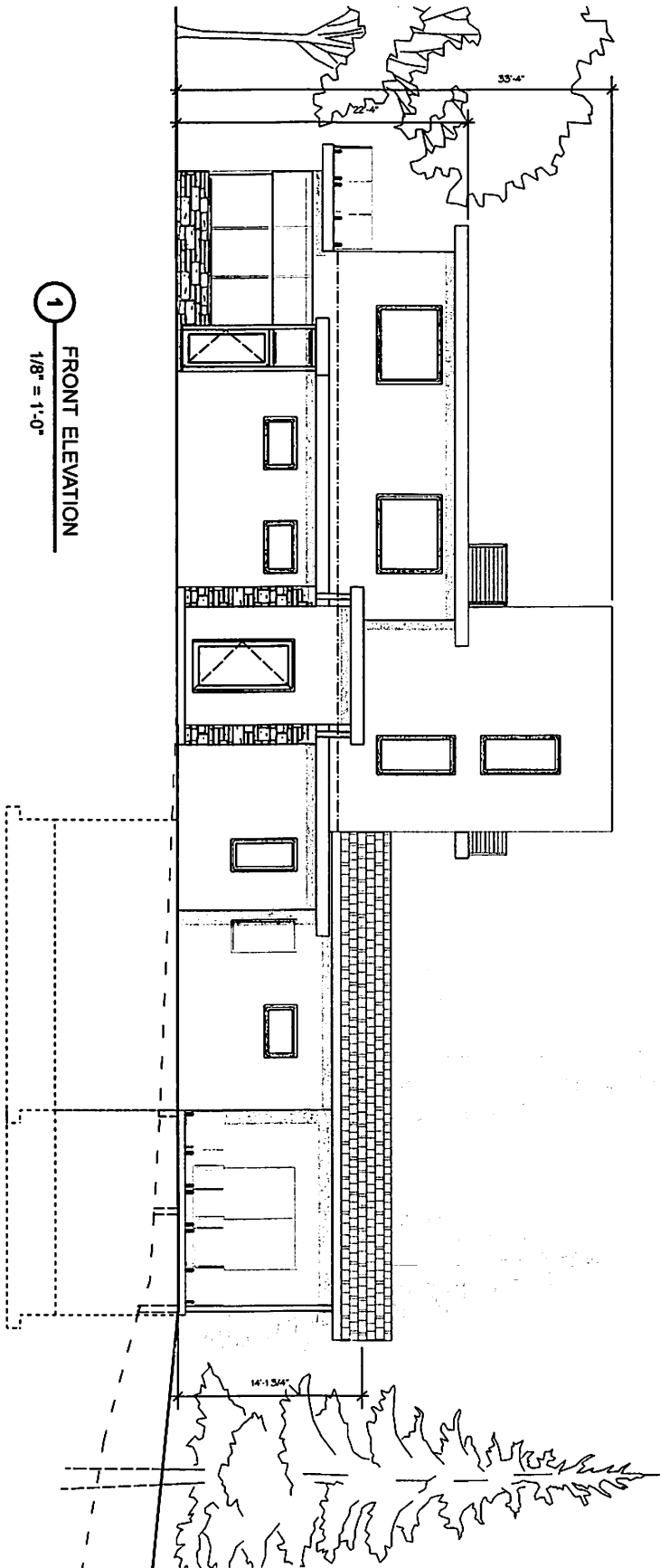
LEGEND

- Existing Gas Pipe
- Existing Sewer Pipe
- Existing Concrete Manhole
- Existing Cast Iron Manhole
- Electric
- Water
- Other Utility Lines
- Utility Pole
- Drainage Pit
- Parapet Wall
- Retaining Wall
- Intersecting Streets
- Break
- Streeted Property
- Division Line
- Corner Pin



Notes
 1. All utility lines shown on this plan are subject to change.
 2. All utility lines are shown in their existing location.
 3. All utility lines are shown in their existing location.
 4. All utility lines are shown in their existing location.
 5. All utility lines are shown in their existing location.

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1
FRONT ELEVATION
1/8" = 1'-0"

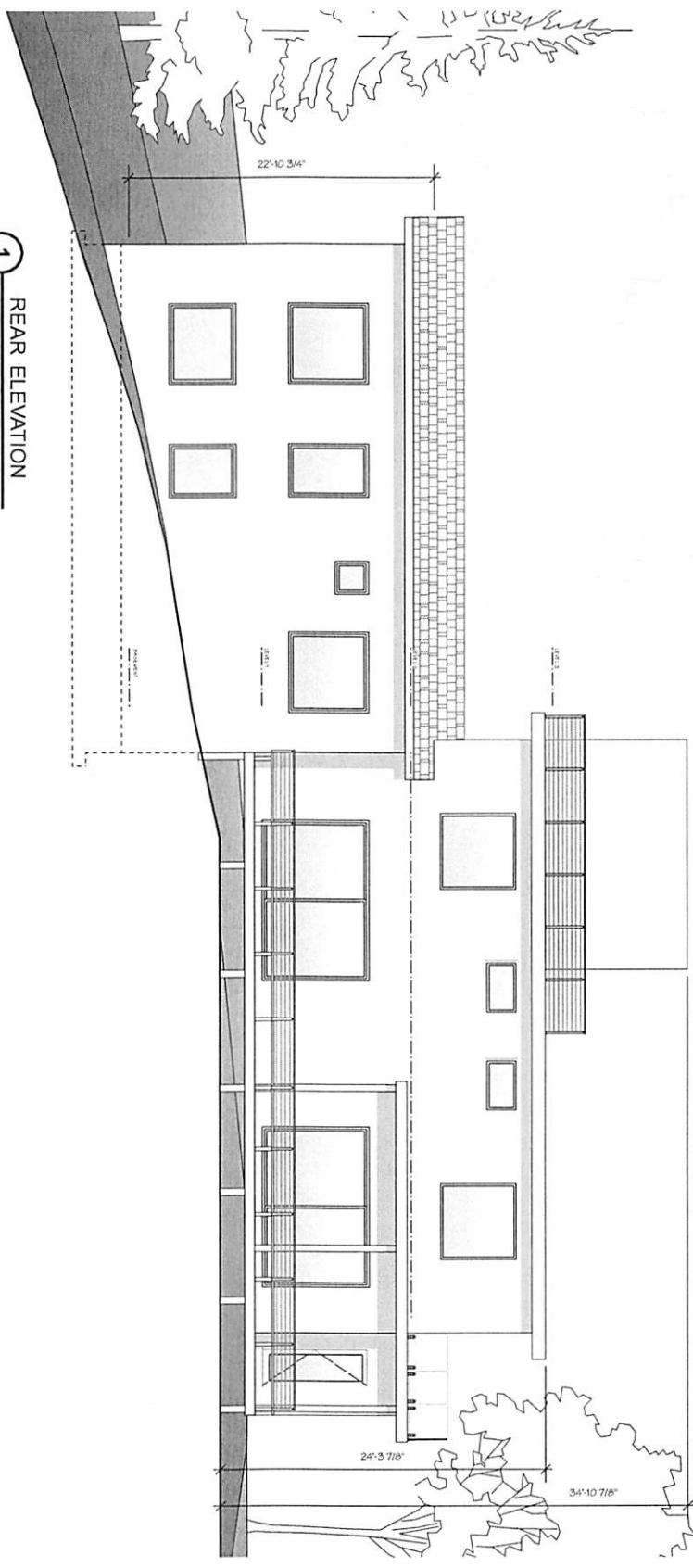
Leigh Overland Architect, LLC, AIA, NCARR
 Julio and James
 13 Greenwood Lane, Kent, CT
PRELIMINARY DESIGN

130 Street Avenue Suite 9 Norwich, CT 06251
 Tel: (860) 885-1100
REVISIONS

NO.	DATE	BY	DESCRIPTION

130 Street Avenue Suite 9 Norwich, CT 06251
 Tel: (860) 885-1100
 Fax: (860) 885-1101
 www.leighoverland.com
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1 REAR ELEVATION
1/8" = 1'-0"



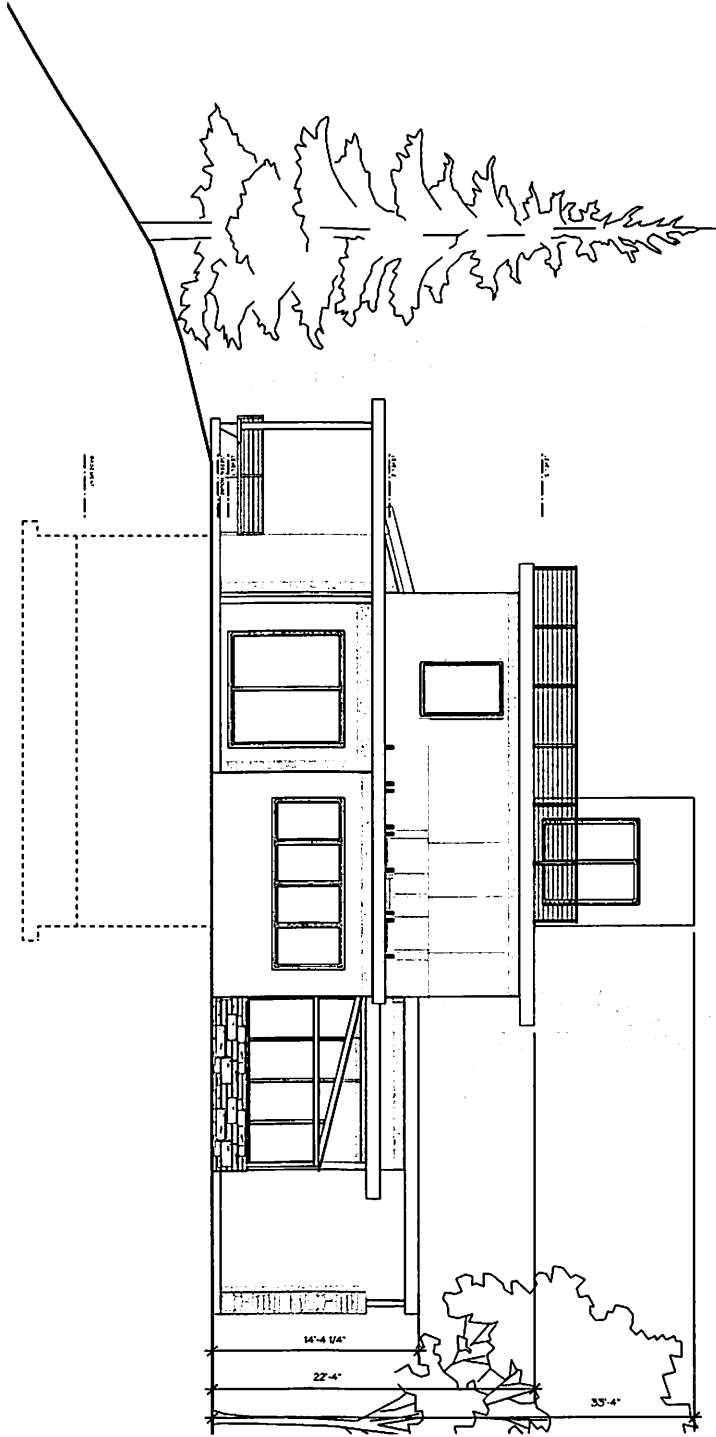
Leigh Overland Architect, LLC, AIA, NCARB
 Julie and James
 13 Greenwood Lane, Kent, CT
 PRELIMINARY DESIGN

NO.	DATE	REVISIONS
1		
2		
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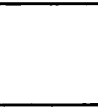
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1
SIDE ELEVATION
1/8" = 1'-0"



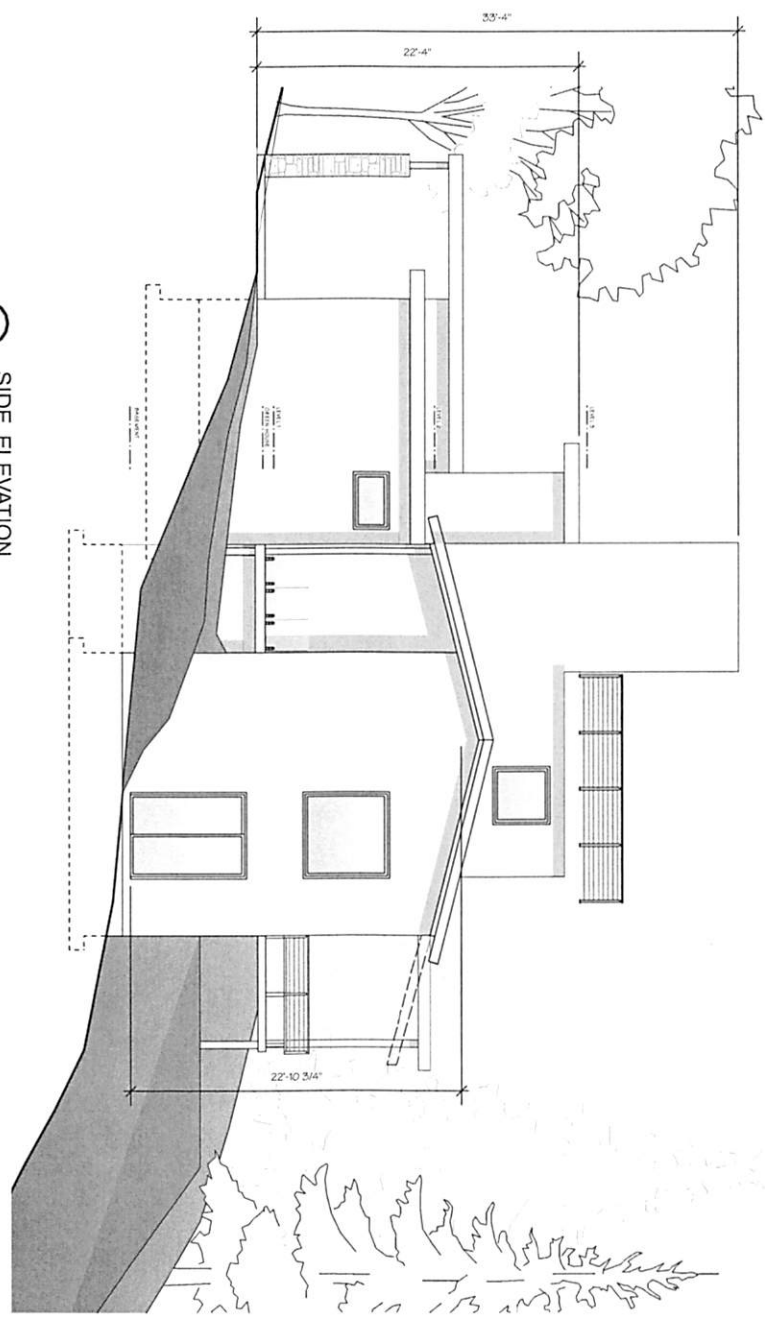
Leigh Overland Architect, LLC, AIA, NCARB.
 Julie and James
 13 Greenwoods Lane, Kent, CT
 PRELIMINARY DESIGN

130 Street Avenue, Suite 11, Norwich, CT 06258	DATE	1/11/2021
TEL: 860.743.4444	PROJECT NO.	2021-001
FAX: 860.743.4444	CLIENT	Julie and James
WWW.LOARCHITECT.COM	SCALE	1/8" = 1'-0"
	DATE	1/11/2021
	BY	JULIE AND JAMES
	CHECKED BY	JULIE AND JAMES
	APPROVED BY	JULIE AND JAMES



5a2

1 SIDE ELEVATION
1/8" = 1'-0"

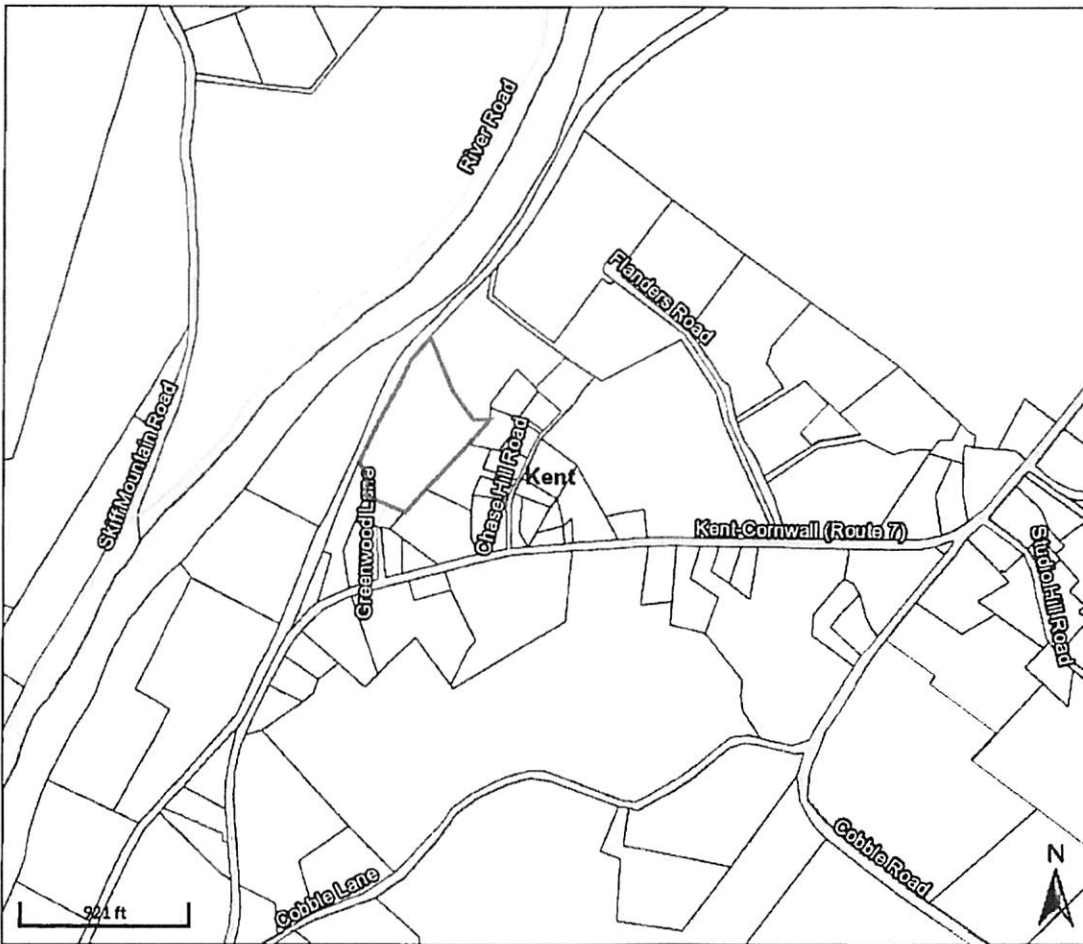


Leigh Overland Architect, LLC AIA, NCARB
 Julie and James
 13 Greenwoods Lane, Kent, CT
PRELIMINARY DESIGN

136 Green Avenue, Suite 1, Norwalk, CT 06851	Phone: (203) 841-1100
8450552005	
Project No.	136 Green Avenue
Client	Julie and James
Architect	Leigh Overland Architect, LLC
Scale	1/8" = 1'-0"
Date	11 January 2021
Sheet No.	PS-1




Sud



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	778	Alternate ID	00066900	Owner Address	BERNARDIN JAMES PAUL &
Sec/Twp/Rng	9-15-58	Class	R		CHANG JULIE
Property Address	13 GREENWOOD LA	Acreage	6.3		301 WEST 115TH ST APT 8A
	KENT				NEW YORK NY 10026
District	5A				
Brief Tax Description	n/a				
	(Note: Not to be used on legal documents)				

Date created: 3/31/2021
 Last Data Uploaded: 3/31/2021 1:37:05 AM

Developed by  **Schneider**
 GEOSPATIAL

5ad

SITE PLAN APPLICATION CHECKLIST

All Site Plan Applications must include:

- 10 copies of the Site Plan Application and all attachments
- A check in the amount of \$160 made payable to "The Town Of Kent"

Following a written request from the applicant, the Commission may determine that information required by the Regulations is not needed in order for the Commission to reach a decision on the application or determine compliance with the requirements of these Regulations. In such situations, the Commission may relieve the applicant from providing such information by an affirmative vote of a majority of all voting members of the Commission.

The Commission may require additional information be submitted when it determines that it needs such additional information in order to determine whether the proposed use complies with the standards and requirements of these Regulations.

APPLICATION REQUIREMENTS – SITE PLAN / SPECIAL PERMIT (PLEASE CIRCLE THOSE NUMBERED ITEMS YOU WISH THE COMMISSION TO WAIVE)

- Application Form (with original signature of owner or letter of authorization from the owner to a designated agent)
- Application fee (\$160 made payable to "The Town of Kent")
- Ten (10) copies of a Site Plan of the property at an appropriate scale (such as 1" = 40') prepared and signed by a Connecticut-licensed professional engineer, land surveyor, architect and/or landscape architect, whichever shall be appropriate, and stamped with an embossed seal of each, showing, as applicable:
 - 1 On each sheet as appropriate, the graphic scale, north arrow, date of drawing and of all revisions, name of person preparing the Site Plan, address of property, and name and address of owner of record
 - 2 A key map showing:
 - the location of the property in relation to surrounding areas, streets and other landmarks
 - the location of the lot in relation to public and/or private streets and access-ways
 - the zoning district in which the property is located
 - 3 A Class A-2 boundary survey showing property boundaries, dimensions and area, dimensions of all yards as required by these Regulations, and including the names of abutting property owners
 - 4 A site development plan showing:
 - Existing and proposed buildings and other structures on the site including locations, dimensions, footprint square footage, floor area, height and building coverage of all existing and proposed buildings and uses
 - Existing and proposed driveway, parking and loading areas including, but not limited to, sidewalks, curbing, walkways, dumpsters, group mailboxes, driveways, parking and loading areas, abutting streets, utility poles, hydrants and other utility appurtenances, areas to be used for exterior storage and the type of screening to be provided
 - Existing and proposed grading with contours at two-foot intervals or less
 - The location of any wetlands and/or watercourses or areas of special flood hazard including the upland review area
 - The location of any proposed signs
 - Proposed site lighting including the location, size, height, intensity and hours of operation of all lighting fixtures
 - Construction limit line identifying all those areas to remain undisturbed and in its natural state

5a2

- 5 A utility plan showing:
 - The locations and descriptions of water supply and sewage disposal facilities
 - The location and design of existing and proposed storm drainage facilities in compliance with the 2004 Connecticut Stormwater Quality Manual, as amended
 - The location and design of refuse disposal facilities
- 6 A landscaping plan showing existing vegetation and proposed planting showing the Latin and common name of the species used, quantity of each plant species and the size and height of the plants at the time of planting.
- 7 Architectural plans and elevations
- 8 Construction notes and details
- 9 A zoning informational table showing the existing use, proposed use, zone, size of the property in square feet or acres, gross floor area of existing structures, gross floor area of proposed structures, proposed ground coverage, proposed building height in stories and feet, number of parking spaces required and provided (including handicapped spaces), number of loading spaces (if any) required and provided.
- Additional information as necessary to demonstrate compliance with the Zoning Regulations or other site plan considerations:
- 10 Off-site information including but not limited to the location of: buildings, parking areas and curb cuts on adjoining properties, including those across the street; traffic lights and controls, public trees, catch basins, manholes, hydrants, utility poles and utility lines located in adjacent streets; and zoning district boundary lines.
- 11 Impact analysis of the development upon water supply, storm drainage, sanitary sewers, traffic with special emphasis on any scenic road impacted, site conditions and/or water, air or noise pollution.
- 12 The location of stone walls, archeological resources, scenic views and other attributes
- 13 All applications for a Special Permit involving the construction of more than 25 dwelling units, 50 parking spaces, or 20,000 square feet of gross floor area, or any proposal which, in the Commission's judgment, would generate high levels of traffic, shall be accompanied by a traffic study prepared by a traffic engineer, evaluating the impact of the proposal on streets serving and/or affected by the development.
 - At a minimum, the traffic study shall include data and information on existing and projected average daily vehicle trips on nearby roads, peak hour traffic, adequacy of rights-of-way and travelways, existing roadway capacity, traffic accidents, the traffic impact of the proposed development, traffic generation data, the location of existing roads within 300 feet of the development site, traffic lights and intersections, and recommendations for safe pedestrian and vehicular circulation, including provisions for safe sidewalks and crosswalks for pedestrians. Where applicable, the applicant shall include the written recommendations of the Connecticut Department of Transportation.
 - Where it is projected that the additional traffic resulting from the proposal will reduce the level of service to C or below, the Commission shall not approve the project unless and until provision has been made for the improvement of said condition.
- For an application proposing to utilize a septic system, a report from the Town Sanitarian as to the feasibility of the septic system to accommodate the proposed use.
- For an application proposing a connection to, or extension of, a storm or sanitary sewer system shall require the approval of the Kent Water Pollution Control Authority and, where applicable, Connecticut Department of Energy and Environmental Protection, prior to the submission of an application to the Commission.
- If applicable, copies of an Erosion and Sedimentation Control Plan in compliance with Section 7300 of these Regulations.

AGENDA ITEM 5.B.2.

SITE PLAN APPLICATION CHECKLIST

All Site Plan Applications must include:

- 10 copies of the Site Plan Application and all attachments
- A check in the amount of \$160 made payable to "The Town Of Kent"

Following a written request from the applicant, the Commission may determine that information required by the Regulations is not needed in order for the Commission to reach a decision on the application or determine compliance with the requirements of these Regulations. In such situations, the Commission may relieve the applicant from providing such information by an affirmative vote of a majority of all voting members of the Commission.

The Commission may require additional information be submitted when it determines that it needs such additional information in order to determine whether the proposed use complies with the standards and requirements of these Regulations.

APPLICATION REQUIREMENTS – SITE PLAN / SPECIAL PERMIT (PLEASE CIRCLE THOSE NUMBERED ITEMS YOU WISH THE COMMISSION TO WAIVE)

Application Form (with original signature of owner or letter of authorization from the owner to a designated agent)

Application fee (\$160 made payable to "The Town of Kent")

Ten (10) copies of a Site Plan of the property at an appropriate scale (such as 1" = 40') prepared and signed by a Connecticut-licensed professional engineer, land surveyor, architect and/or landscape architect, whichever shall be appropriate, and stamped with an embossed seal of each, showing, as applicable:

- On each sheet as appropriate, the graphic scale, north arrow, date of drawing and of all revisions, name of person preparing the Site Plan, address of property, and name and address of owner of record
- A key map showing:
 - the location of the property in relation to surrounding areas, streets and other landmarks
 - the location of the lot in relation to public and/or private streets and access-ways
 - the zoning district in which the property is located
- A Class A-2 boundary survey showing property boundaries, dimensions and area, dimensions of all yards as required by these Regulations, and including the names of abutting property owners
- A site development plan showing:
 - Existing and proposed buildings and other structures on the site including locations, dimensions, footprint square footage, floor area, height and building coverage of all existing and proposed buildings and uses
 - Existing and proposed driveway, parking and loading areas including, but not limited to, sidewalks, curbing, walkways, dumpsters, group mailboxes, driveways, parking and loading areas, abutting streets, utility poles, hydrants and other utility appurtenances, areas to be used for exterior storage and the type of screening to be provided
 - Existing and proposed grading with contours at two-foot intervals or less
 - The location of any wetlands and/or watercourses or areas of special flood hazard including the upland review area
 - The location of any proposed signs
 - Proposed site lighting including the location, size, height, intensity and hours of operation of all lighting fixtures
 - Construction limit line identifying all those areas to remain undisturbed and in its natural state

- 5 A utility plan showing:
 - The locations and descriptions of water supply and sewage disposal facilities
 - The location and design of existing and proposed storm drainage facilities in compliance with the 2004 Connecticut Stormwater Quality Manual, as amended
 - The location and design of refuse disposal facilities
- 6 A landscaping plan showing existing vegetation and proposed planting showing the Latin and common name of the species used, quantity of each plant species and the size and height of the plants at the time of planting.
- 7 Architectural plans and elevations
- 8 Construction notes and details
- 9 A zoning informational table showing the existing use, proposed use, zone, size of the property in square feet or acres, gross floor area of existing structures, gross floor area of proposed structures, proposed ground coverage, proposed building height in stories and feet, number of parking spaces required and provided (including handicapped spaces), number of loading spaces (if any) required and provided.
- Additional information as necessary to demonstrate compliance with the Zoning Regulations or other site plan considerations:
- 10 Off-site information including but not limited to the location of: buildings, parking areas and curb cuts on adjoining properties, including those across the street; traffic lights and controls, public trees, catch basins, manholes, hydrants, utility poles and utility lines located in adjacent streets; and zoning district boundary lines.
- 11 Impact analysis of the development upon water supply, storm drainage, sanitary sewers, traffic with special emphasis on any scenic road impacted, site conditions and/or water, air or noise pollution.
- 12 The location of stone walls, archeological resources, scenic views and other attributes
- 13 All applications for a Special Permit involving the construction of more than 25 dwelling units, 50 parking spaces, or 20,000 square feet of gross floor area, or any proposal which, in the Commission's judgment, would generate high levels of traffic, shall be accompanied by a traffic study prepared by a traffic engineer, evaluating the impact of the proposal on streets serving and/or affected by the development.
 - At a minimum, the traffic study shall include data and information on existing and projected average daily vehicle trips on nearby roads, peak hour traffic, adequacy of rights-of-way and travelways, existing roadway capacity, traffic accidents, the traffic impact of the proposed development, traffic generation data, the location of existing roads within 300 feet of the development site, traffic lights and intersections, and recommendations for safe pedestrian and vehicular circulation, including provisions for safe sidewalks and crosswalks for pedestrians. Where applicable, the applicant shall include the written recommendations of the Connecticut Department of Transportation.
 - Where it is projected that the additional traffic resulting from the proposal will reduce the level of service to C or below, the Commission shall not approve the project unless and until provision has been made for the improvement of said condition.
- For an application proposing to utilize a septic system, a report from the Town Sanitarian as to the feasibility of the septic system to accommodate the proposed use.
- For an application proposing a connection to, or extension of, a storm or sanitary sewer system shall require the approval of the Kent Water Pollution Control Authority and, where applicable, Connecticut Department of Energy and Environmental Protection, prior to the submission of an application to the Commission.
- If applicable, copies of an Erosion and Sedimentation Control Plan in compliance with Section 7300 of these Regulations.

6 a 1



SPECIAL PERMIT APPLICATION

PLANNING AND ZONING COMMISSION
41 Kent Green Blvd.
P.O. Box 678
Kent, CT 06757

(FOR OFFICE USE ONLY)
App. #: 39-215P
Fee received: 210
Date of receipt: 4/21/21
Official date of receipt: 5/13/21

Name of property owner: Jonathan Chaplin & Rona Yujung Kim

Owner's mailing address: PO Box 32, South Kent, CT 06785

Applicant's telephone: 860-354-9346 E-mail address: pszymanski@ahhowland.com

Applicant's name: Arthur H Howland & Associates, P.C.
Paul Szymanski, PE

Applicant's address: 143 West Street, Suite E, New Milford, CT 06776

Applicant's telephone: 860-354-9346 E-mail address: pszymanski@ahhowland.com

Property address: 32 Mountain Road, South Kent, CT 06785

Map: 12 Block: 40 Lot: 15

Zoning regulation section: Section 6200 Accessory Dwellings/ Guest Houses

Statement of use: Proposed change of use of the existing garage from a guest house to a detached accessory dwelling.

Cubic yards of fill to be deposited on the property (if any): 150 cy

Yards of earth materials to be removed off the property (if any): 50 cut

Is this property subject to a conservation or preservation restriction: Yes No

If so, a written notice must be sent to the party holding such restriction sixty days prior to the submittal of this application. Proof of this notice shall be attached as per CT Public Act 05-124.

Has this case gone to the Zoning Board of Appeals? Yes No
If yes, please include the approval letter from the ZBA.

Signature of applicant: [Signature] Date: 4/21/2021

Signature of property owner: [Signature] Date: 4-21-2021

621

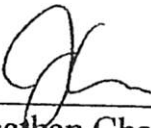
December 21, 2020

Jonathan Chaplin
PO Box 32
South Kent, Connecticut 06785

To Whom It May Concern:

Please be advised that the office of Arthur H. Howland & Associates, P.C. is authorized to represent me before any and all agencies and commissions of the Town of Kent for the purpose of obtaining approval of Land Use applications and permits at 32 Mountain Road, Kent, Connecticut.

Sincerely Yours,



Jonathan Chaplin
Owner

6-a-1

KENT PLANNING AND ZONING COMMISSION
41 KENT GREEN BOULEVARD
P.O. Box 678
KENT, CONNECTICUT 06757

NOTICE OF PUBLIC HEARING

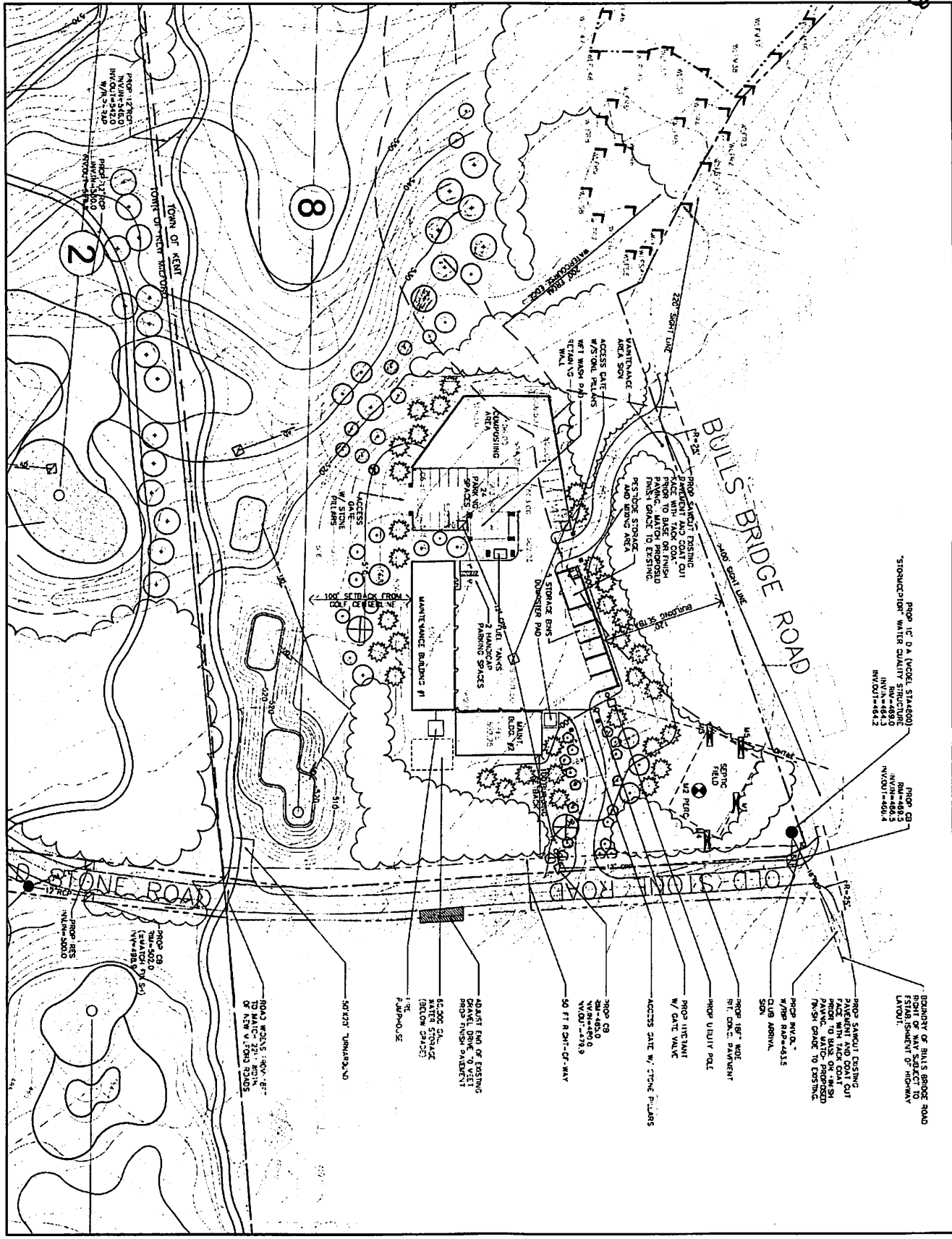
The Town of Kent Planning and Zoning Commission shall hold a public hearing via a ZOOM meeting on Thursday, May 13, 2021 beginning at 7:00 p.m. to discuss and possibly act on: Application #39-21SP, Paul Szymanski, P.E., Arthur H. Howland & Associates for Jonathan Chaplin & Rona Yujung Kim, 32 Mountain Road, Map 12 Block 40 Lot 15, change of use of detached garage from detached guest house to detached dwelling unit. Any corresponding documentation will be attached to the official agenda. At this hearing, persons may participate and be heard.

PLEASE NOTE: Written communications must be received by the Land Use Office no earlier than 24 hours prior to the meeting.

The ZOOM meeting number can be located on the official agenda that will be filed on the Town of Kent's website a minimum of 24 hours prior to the official ZOOM meeting.

Matthew Winter, Chairman

6a2



<p>SASAKI REGISTERED PROFESSIONAL ENGINEER 4470 Wilshire Blvd., Suite 2000, Los Angeles, CA 90048 310.204.2800</p>	
<p>PROJECT: MAINTENANCE FACILITY SHEET: L1-2</p>	
<p>DATE: 04/18/00 DRAWN BY: [Signature] CHECKED BY: [Signature] DATE: February 13, 2002</p>	
<p>BULL'S BRIDGE GOLF CLUB MAINTENANCE FACILITY PLANTING PLAN</p>	
<p>Scale: 1" = 40' North Arrow</p>	

ba2

SECURALL

DRAWING SUBMITTAL

① CLIENT INFORMATION

Name Bulls Bridge Golf Club
 Site Location:
 71 Bulls Bridge Rd
 South Kent, CT 06785

② SUBMITTAL INFORMATION

Prepared By	MCB	Date	9/18/2020
For Drawing Number	CBDC-2009136	Revision	0
Drawing Type	Standard	Sheets	2
Additional Approval:	None <input checked="" type="checkbox"/>	Prof. Engineer <input type="checkbox"/>	State <input type="checkbox"/>

③ REVISION SUMMARY

N/A

④ BUILDING INFORMATION

Model	AG8000		
Quantity	1		
Color	White		
Exterior Dim. (in)	100H x 504W x 96D		
Sump Capacity (gal)	1,243		
Fire Rating (hr)	Wall: 0	Roof: 0	
Interior Area (ft ²)	310.86		

⑤ ELECTRICAL INFORMATION

Frequency	60 Hz	Note(s) Exhaust fan not wired to light switch.
Voltage	120/240	
Amperage	100	
Phase(s)	1	
Circuits	12	
Class	--	
Division	--	

⑥ SHIPPING INFORMATION

Shipping Dimensions	8'-4"H x 43'-6"W x 8'-6"D
Shipping Weight (lb)	16,779

⑦ DOOR OPENINGS BY TYPE

Standard	1	Types listed are not mutually exclusive.
Hurricane	0	
Overhead	0	

⑧ ENGINEERING NOTE(S)

None

A&A Sheet Metal Products/Securall has made every attempt to interpret the specifications of your purchase order, as reflected in this drawing. By signing below, you—the customer—are approving the production specifications and notes shown. The products will be built in accordance with this submittal and invoiced as such. Deviations will be addressed in a revised drawing.

IMPORTANT NOTES:

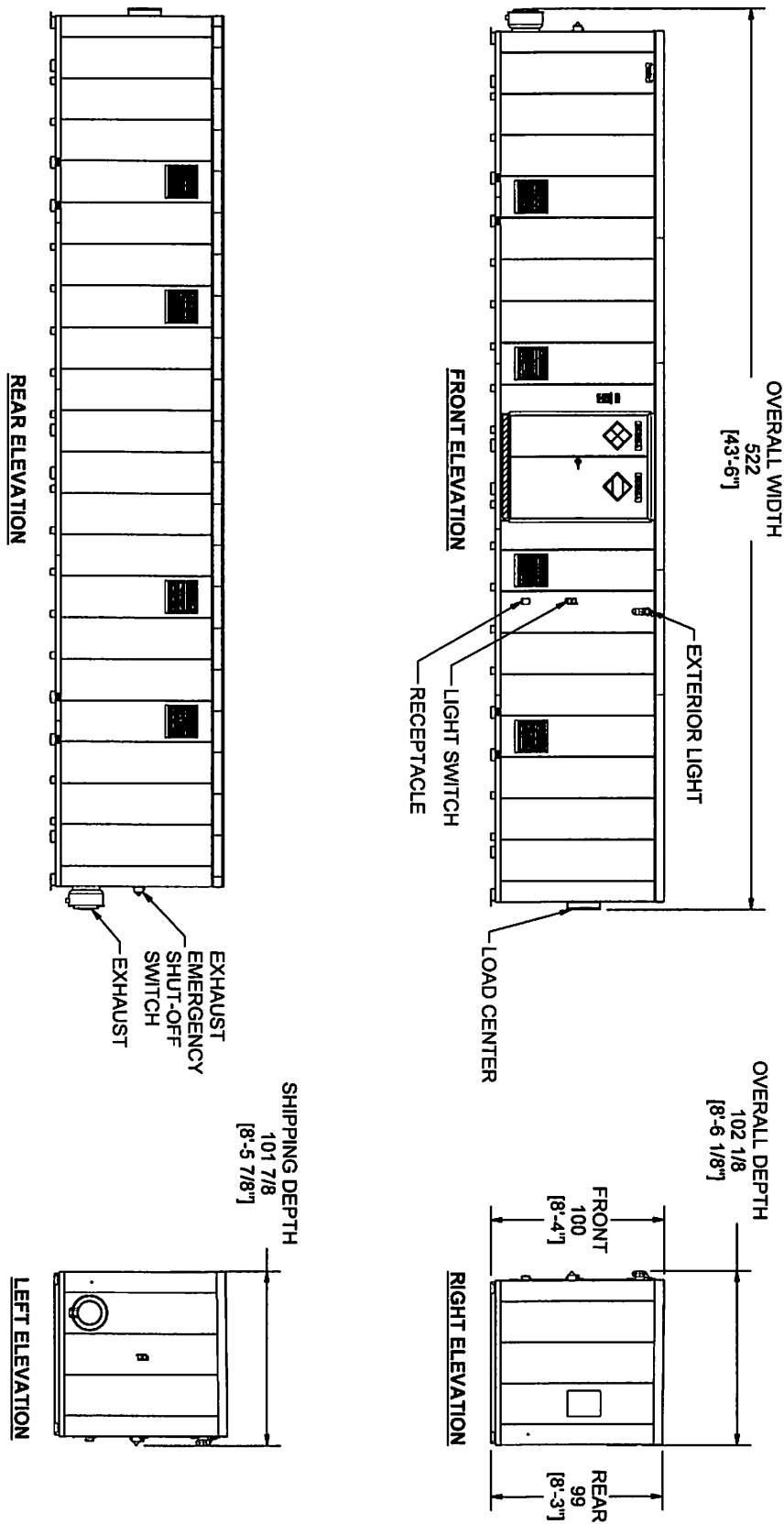
1. Location and quantity of devices, fixtures, and conduit may vary based on product manufacturer's installation instructions and electrician's recommendations.
2. Revisions to customer drawings may result in increased engineering fees. Please consult with your sales representative for details.
3. By signing this document, you are accepting the possibility that State Design Certification may be required for your building and assume responsibility that you—the customer—will be invoiced accordingly if it is required.

Signature _____

Date _____

Print Name _____

692



SECURALL
Safety Storage Equipment

A&A Sheet Metal Products, Inc.
5122 N. STATE ROAD 39
LA PORTE, IN 46350
+1 (888) 326-7890

NOTICE OF PROPRIETARY INFORMATION
THIS DOCUMENT AND THE INFORMATION HEREIN IS
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METAL PRODUCTS, INC. IT MAY NOT BE REPRODUCED
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FM
APPROVED

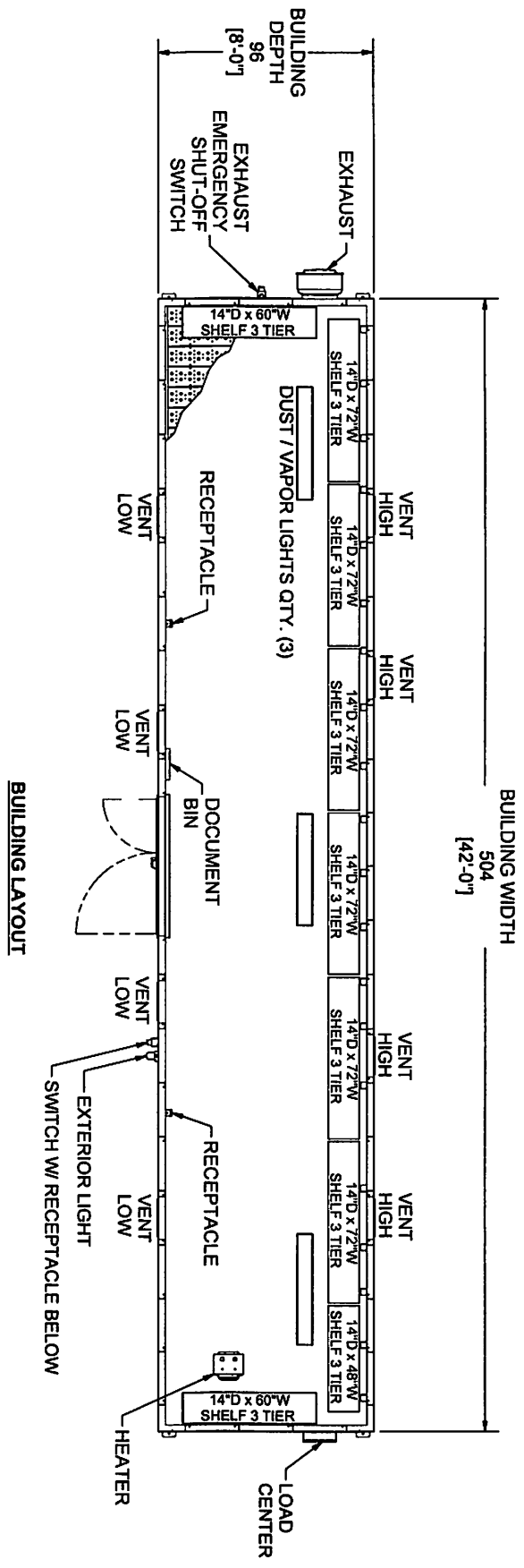
Factory Method Approved
NO CHANGES ARE TO BE
MADE WITHOUT NOTIFICATION
TO AND APPROVAL FROM
FACTORY METHOD RESEARCH
CORPORATION.

DESCRIPTION:
BULLS BRIDGE GOLF CLUB
BUILDING ELEVATIONS

DRAWING:	CBDC-2009136	SCALE:	3/16" = 1'-0"
DRAWN BY:	MCB	DATE:	9/18/20
REVISION:	0	SHEET:	1 OF 2

UOM:	INCHES
TOLERANCE:	± .50 ± 1"

602



OPTIONS LEGEND

	INTERIOR WATERPROOF RECEPTACLE WITH COVER
	-NON-EXPLOSION PROOF 15 A
	NON-EXPLOSION PROOF SWITCH
	15 A, 120/240 V

	200 CFM NON-EXPLOSION PROOF EXHAUST
	NON-EXPLOSION PROOF FAN FORCED HEATER
	10 KW, 240 V

EXCLUDED FOR CLARITY:
 R-11 INSULATION IN WALLS, DOOR & CEILING
 OP0025-6 PORTABLE EYEWASH STATION 6 GAL. CAPACITY
 OP0028-10 LB. TANK 10 LB. REFILLABLE PORTABLE FIRE EXTINGUISHER
 OP0041-1C ADJUSTABLE VENTS WITH INSULATED COVER-18 x 18
 BR65-P 10.75"H x 40"W x 88"L PERFORATED STEEL RAMP W/ SKID-RESISTANT FINISH (COLOR: WHITE)

DOOR NOTES
 60"W x 80"H NON FR DOUBLE DOOR
 STYROFOAM INSULATION
 ROUGH OPENING 62"W x 84"H

SHOP NOTES:
 WIRE EXHAUST SEPARATELY FROM LIGHT SWITCH

SECURELL
 Safety Storage Equipment

A&A Sheet Metal Products, Inc.
 5122 N. STATE ROAD 39
 LA PORTE, IN 46350
 +1 (888) 328-7890

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 THIS DOCUMENT AND THE INFORMATION HEREIN IS CONFIDENTIAL AND PROPRIETARY OF A&A SHEET METAL PRODUCTS, INC. IT MAY NOT BE REPRODUCED IN WHOLE OR IN PART, OR DISCLOSED TO ANY THIRD PARTY, OR USED WITHOUT THE PRIOR WRITTEN CONSENT OF A&A SHEET METAL PRODUCTS, INC.

SMART certified **Sustainable Gold**

FM APPROVED

Factory Method Approved
 NO CHANGES ARE TO BE MADE WITHOUT NOTIFICATION TO AND APPROVAL FROM FACTORY METHOD RESEARCH CORPORATION.

DESCRIPTION:
BULLS BRIDGE GOLF CLUB BUILDING LAYOUT

DRAWING: CBDC-2009136

DRAWN BY: MCB DATE: 9/18/20 REVISION: 0

SCALE: 1/4" = 1'-0"

SHEET: 2 OF 2

UOM: INCHES

TOLERANCE: ±.50 ±1"

Russell T. Posthauer, Jr., P.E., President
Steven C. Sullivan, P.E., Vice President
Kerry M. Hanlon, P.G., L.E.P.
Nicholas Yuschak Jr., R.L.A.
Douglas Belknap, R.L.S.



622

40 Old New Milford Road
Brookfield, CT 06804
tel 203-775-6207
fax 203-775-3628
www.ccaengineering.com
mail@ccaengineering.com



April 14, 2021

Town of Kent
Land Use Office
41 Kent Green Boulevard
P.O. Box 678
Kent, CT 06757

Attention: Donna Hayes, CZEO

RE: Bull's Bridge Golf Club

Dear Donna:

The Bull's Bridge Golf Club is requesting to modify their site plan as indicated below. Please find enclosed a revised site plan, building plans for the storage building and a \$110.0 check (\$50 & \$60.00 State fee.). We sent a Natural Diversity request to DEEP and a copy of the proof of mailing is attached. No other notifications seemed to be required.

The project is a 8'x42' building to be used for chemical storage. A concrete pad will be constructed in front of it. Additionally, a sanitary system and well is proposed to be constructed to serve the main maintenance building.

If you have any questions, please feel free to contact us.

Sincerely

Russell Posthauer, Jr., P.E.
President

6a2

Bulls Bridge Golf Club, Inc. authorizes CCA, LLC to represent it at Kent land use commissions.

Stephen Hicks

April 14, 2021

Stephen Hicks, Golf Course Superintendent

6a2

April 14, 2021

Adjoiners List for The Bulls Bridge Golf Club, Inc. , Kent, CT.

First Light CT Housatonic
PO Box 5002
New Milford, CT 06776

Roland Jr. & Betsey N Levesque
205 Bulls Bridge Road
South Kent, CT 06785

Robert A Jr. & Tracey L Giampietro
171 Bulls Bridge Road
South Kent, CT 06785

Sandra Edelman
315 W 99th Street, Apt. 4C
New York, NY 10025-5429

Carol N McCann
32 Botsford Road
Kent, CT 06757

Kathleen M McCann
144 Bulls Bridge Road
South Kent, CT 06785

South Kent School Corp
40 Bulls Bridge Road
South Kent, CT 06785

Carolyn R Echols Trustee
126 Bulls Bridge Road
South Kent, CT 06785

Barbara F Scott
c/o Jack Kinney
Kent, CT 06757

Gordon Woodward
77 Champlain Road
Chatham, MA 02633

ba2

7020 2450 0000 9144 0639

U.S. Postal Service
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Hartford, CT 06106

OFFICIAL USE

Certified Mail Fee	\$3.60	0804
	\$2.85	23
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$2.00	
Total Postage and Fees	\$8.45	04/13/2021
Sent To	Central Permit Processing Unit	
Street	DEEP	
City, Sta	79 Elm Street	
	Hartford, CT 06106-5127	

PS Form 3800, APRIL 2015 PSN 7530-02-000-9047 See Reverse for Instructions



BROOKFIELD
 115 POCONO RD
 BROOKFIELD, CT 06804-9998
 (800)275-8777

04/13/2021 03:29 PM

Product	Qty	Unit Price	Price
First-Class Mail® Large Envelope	1		\$2.00
Hartford, CT 06106 Weight: 0.1b.5.70 oz. Estimated Delivery Date: 04/16/2021			
Certified Mail®			\$3.60
Tracking #:	7020245000091440639		
Return Receipt			\$2.85
Tracking #:	9590 9402 6283 0274 7072 55		
Total			\$8.45
Grand Total:			\$8.45
Cash			\$20.00
Change			-\$11.55

 USPS is experiencing unprecedented volume increases and limited employee availability due to the impacts of COVID-19. We appreciate your patience.

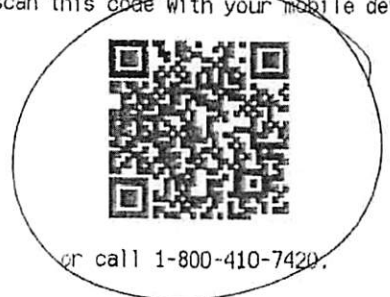
Text your tracking number to 28777 (2USPS) to get the latest status. Standard Message and Data rates may apply. You may also visit www.usps.com USPS Tracking or call 1-800-222-1811.

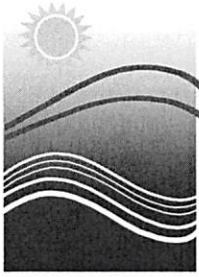
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 Track your Packages
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Connecticut Department of
**ENERGY &
ENVIRONMENTAL
PROTECTION**

ba2

May 3, 2021

Russell Posthauer Jr.
CCA, LLC
40 Old New Milford Rd
Brookfield, CT 06804
RUSSELLPOSTHAUER@CCAENGINEERING.COM

NDDB DETERMINATION NUMBER.: 202104797

Project: New septic system, The Bulls Bridge Golf Club, 71 Bulls Bridge Rd, Kent/ New Milford, CT, CT

I have reviewed Natural Diversity Data Base (NDDB) maps and files regarding this project. I do not anticipate negative impacts to State-listed species (RCSA Sec. 26-306) resulting from your proposed activity at the site. This determination is good for 2 years.

Natural Diversity Data Base information includes all information regarding critical biological resources available to us at the time of the request. This information is a compilation of data collected over the years by the Department of Energy and Environmental Protection's Natural History Survey and cooperating units of DEEP, private conservation groups and the scientific community. This information is not necessarily the result of comprehensive or site-specific field investigations. Consultations with the Data Base should not be substitutes for on-site surveys required for environmental assessments. Current research projects and new contributors continue to identify additional populations of species and locations of habitats of concern, as well as, enhance existing data. Such new information is incorporated into the Data Base as it becomes available. The result of this review does not preclude the possibility that listed species may be encountered on site and that additional action may be necessary to remain in compliance with certain state permits.

Please contact me if you have further questions at shannon.kearney@ct.gov . Thank you for consulting the Natural Diversity Data Base.

Sincerely,

/s/ Shannon B. Kearney
Wildlife Biologist

KENT PLANNING AND ZONING COMMISSION
41 KENT GREEN BOULEVARD
P.O. Box 678
KENT, CONNECTICUT 06757

baa

NOTICE OF PUBLIC HEARING

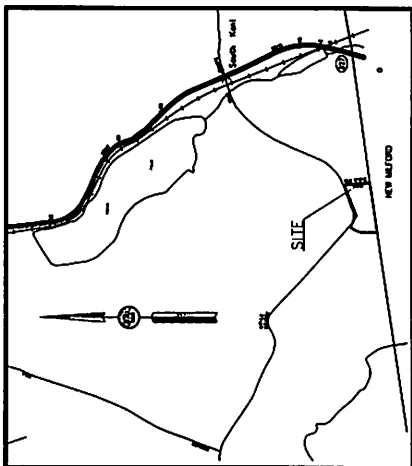
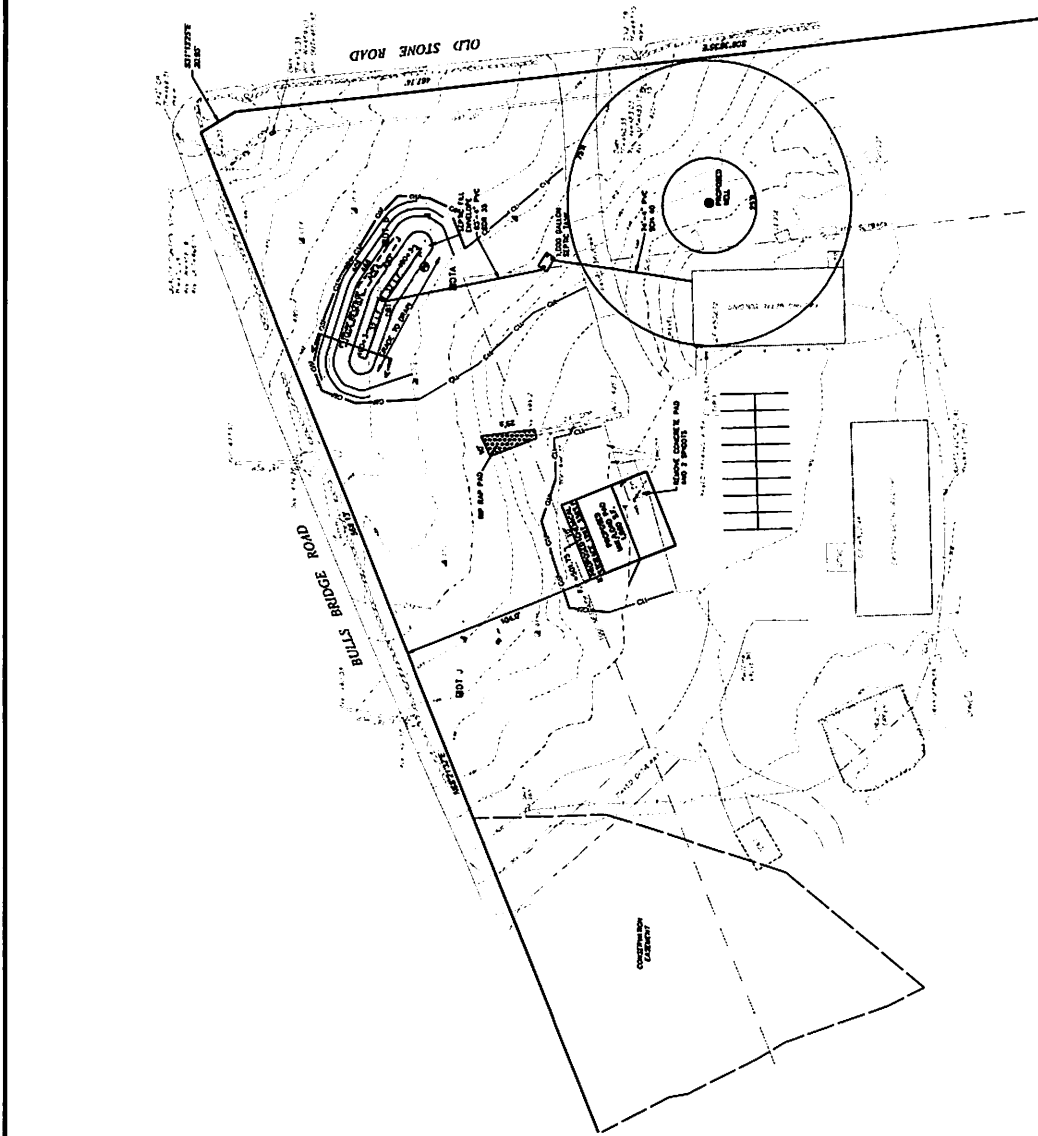
The Town of Kent Planning and Zoning Commission shall hold a public hearing via a ZOOM meeting on Thursday, May 13, 2021 beginning at 7:00 p.m. to discuss and possibly act on: Modification to Application #'s 159-02SEP and 13-02CP, Bulls Bridge Golf Course, 71 Bulls Bridge Road, Map 6 Block 11 Lot 13, modification to include the construction of an 8' x 42' chemical storage building. Any corresponding documentation will be attached to the official agenda. At this hearing, persons may participate and be heard.

PLEASE NOTE: Written communications must be received by the Land Use Office no earlier than 24 hours prior to the meeting.

The ZOOM meeting number can be located on the official agenda that will be filed on the Town of Kent's website a minimum of 24 hours prior to the official ZOOM meeting.

Matthew Winter, Chairman

ba2



VICINITY MAP SCALE: 1" = 1000' ±
 PROJECT: BULL'S BRIDGE GOLF CLUB

DATE	PREPARED
DATE	CYRANZED
DATE	1-07
DATE	20-03
DATE	4-03
DATE	2000-07
DATE	01
DATE	01/11/11

SITE PLAN
PROPOSED CHEMICAL STORAGE
BUILDING
PREPARED FOR
BULL'S BRIDGE GOLF CLUB
 71 BULL'S BRIDGE ROAD
 SOUTH KENT, CONNECTICUT

CCA ENGINEERING LLC
 1000 WEST STREET
 SOUTH KENT, CT 06485
 (203) 737-1007
 www.cca-engineering.com

APPROVED BY THE CITY PLANNING AND ZONING COMMISSION ON: (DATE OF MEETING)

 CHAIRMAN OF COMMISSION

 DATE OF MEETING: (DATE OF MEETING)

 DATE OF EXPIRATION: (DATE OF EXPIRATION)

NOTICE: THIS PLAN IS A PRELIMINARY PLAN. IT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY PLANNING AND ZONING COMMISSION. THE CITY PLANNING AND ZONING COMMISSION MAY REQUIRE CHANGES TO THIS PLAN. THE CITY PLANNING AND ZONING COMMISSION MAY REQUIRE CHANGES TO THIS PLAN. THE CITY PLANNING AND ZONING COMMISSION MAY REQUIRE CHANGES TO THIS PLAN.

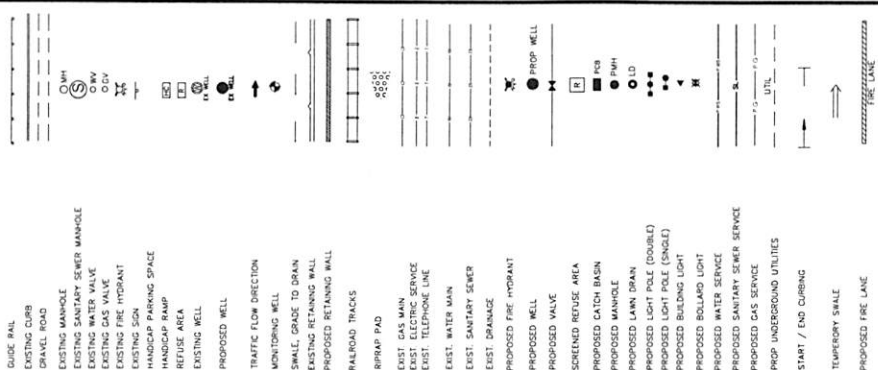
GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL PLUMBING AND MECHANICAL CODES (IMC).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SOUTH KENT, CONNECTICUT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SOUTH KENT, CONNECTICUT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SOUTH KENT, CONNECTICUT.
5. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
6. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
7. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SOUTH KENT, CONNECTICUT.
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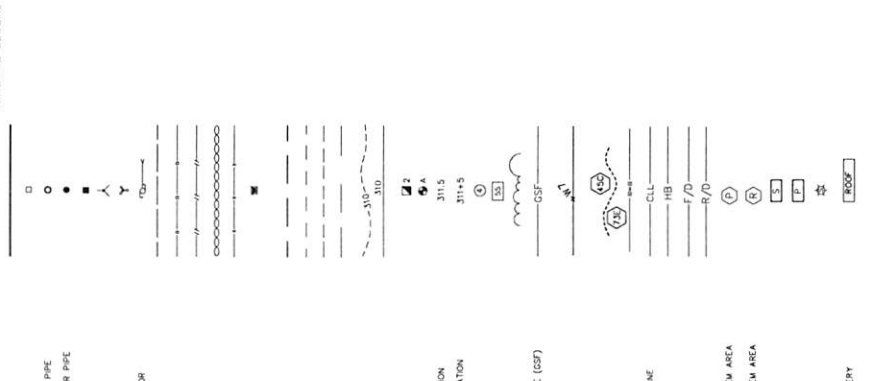
ABBREVIATIONS

APPROXIMATE CORNER
 BENCHMARK
 BIRMINGHAM CONCRETE LP CURB
 CAST IRON PIPE
 CURB DRAIN
 CHASE
 CONCRETE
 CONCRETE
 CORRUGATED METAL PIPE
 CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INTERIOR
 DEPARTMENT OF TRANSPORTATION
 DISTRIBUTION BOX
 DEEP HOLE
 DUCTILE IRON PIPE
 EDGE OF PAVEMENT
 ELEVATION
 EXISTING GRADE
 FLARED END
 FOUNDATION
 GARAGE
 GAS VALVE
 GUTTERABLE SILT FENCE
 HANDICAP
 HOISTWAY
 INLET
 IRON PIPE
 LENGTH
 LIGHT POLE
 LIGHT POLE
 MAXIMUM
 METAL BEAM RAIL
 MINIMUM
 MISCELLANEOUS
 NUMBER
 PERCOLATION TEST
 POINT OF CHANGING CURVATURE
 POINT OF INTERSECTION
 PERMANENT VEGETATION
 POINT OF VERTICAL CURVATURE
 POINT OF VERTICAL TANGENCY
 POLYETHYLENE GLASS FIBER REINFORCED PLASTIC
 PROJECT
 PROPOSED LINE
 PROPOSED LINE
 RADIUS
 RADIUS
 REBAR
 REBAR
 REBAR
 REBAR
 RIGHT OF WAY
 ROOF DRAIN
 ROOF DRAIN
 ROOF DRAIN
 SANITARY SEWER MANHOLE
 SEPTIC TANK
 SPACE ELEVATION
 STAKE
 STAKE
 STAKE
 STAKE
 STORY
 TANGENT
 TELEPHONE
 TOP OF FRAME
 TOP OF GRADE
 VERTICAL CURVATURE
 WATER VALVE
 WIND DRAIN
 WIND DRAIN

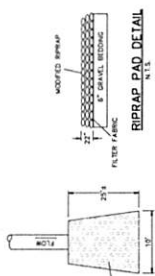
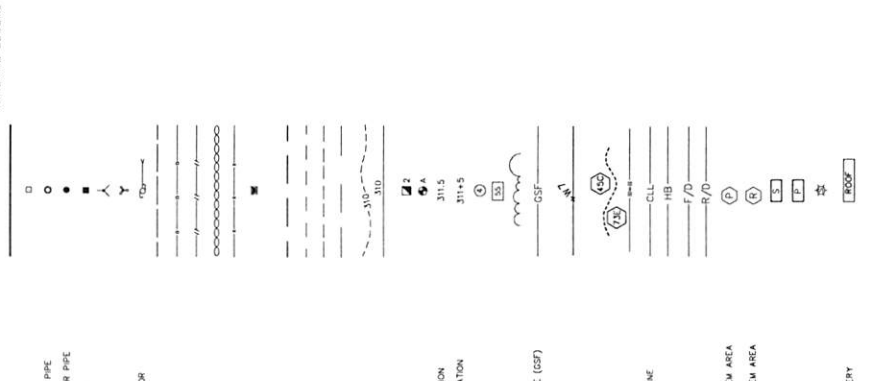
GENERAL LEGEND



ABBREVIATIONS



GENERAL LEGEND



GENERAL LEGEND, NOTES & ABBREVIATIONS
PROPOSED CHEMICAL STORAGE BUILDING
BULL'S BRIDGE GOLF CLUB
 71 BULL'S BRIDGE ROAD
 SOUTH KENT, CONNECTICUT

DATE: 01/27/2021
 SCALE: AS NOTED
 PROJ. NO.: 20-305
 SHEET NO.: 4021
 JOB NO.: 2020S-0P
 DRAWN BY: KST/HTP
 CHECKED BY: KST/HTP

CCA ENGINEERING & ARCHITECTURE, LLC
 1000 ROUTE 1
 BRIDGEVILLE, CT 06408
 (203) 777-8207
 WWW.CCA-ENGINEERING.COM

602

TOPSOILING (TS)

1. PURPOSE: TO RESTORE SOIL TO ORIGINAL PRODUCTIVE CAPABILITY... 2. SCOPE: THIS SPECIFICATION APPLIES TO THE TOPSOILING OF SOILS... 3. REFERENCES: A. FEDERAL SPECIFICATIONS FOR SOILS... B. STATE SPECIFICATIONS FOR SOILS... 4. MATERIALS: A. TOPSOIL: SHALL BE A SOIL OF THE FOLLOWING CHARACTERISTICS... B. SUBSOIL: SHALL BE A SOIL OF THE FOLLOWING CHARACTERISTICS... 5. CONSTRUCTION: A. PREPARATION OF SOIL: THE SOIL SHALL BE PREPARED BY... B. APPLICATION OF SOIL: THE SOIL SHALL BE APPLIED TO THE SITE BY... 6. TESTING: A. SOIL TESTING: THE SOIL SHALL BE TESTED FOR... B. PLANTING: THE PLANTS SHALL BE PLANTED AT THE FOLLOWING RATES...

DUST CONTROL (DC)

1. PURPOSE: TO PREVENT THE EMISSION OF DUST FROM CONSTRUCTION SITES... 2. SCOPE: THIS SPECIFICATION APPLIES TO THE DUST CONTROL MEASURES... 3. REFERENCES: A. FEDERAL SPECIFICATIONS FOR DUST CONTROL... B. STATE SPECIFICATIONS FOR DUST CONTROL... 4. MATERIALS: A. WATER: SHALL BE CLEAN AND FREE FROM OIL AND GREASE... B. DUST CONTROL MATS: SHALL BE MADE OF A DURABLE MATERIAL... 5. CONSTRUCTION: A. WATER SPRAYING: WATER SHALL BE SPRAYED AT THE FOLLOWING RATES... B. DUST CONTROL MATS: THE MATS SHALL BE PLACED AT THE FOLLOWING LOCATIONS... 6. TESTING: A. DUST TESTING: THE DUST SHALL BE TESTED FOR... B. WATER TESTING: THE WATER SHALL BE TESTED FOR...

GEOTEXTILE SILT FENCE (GSF)

1. PURPOSE: TO PREVENT THE EMISSION OF SILT FROM CONSTRUCTION SITES... 2. SCOPE: THIS SPECIFICATION APPLIES TO THE GEOTEXTILE SILT FENCE... 3. REFERENCES: A. FEDERAL SPECIFICATIONS FOR GEOTEXTILE SILT FENCE... B. STATE SPECIFICATIONS FOR GEOTEXTILE SILT FENCE... 4. MATERIALS: A. GEOTEXTILE: SHALL BE MADE OF A DURABLE MATERIAL... B. POSTS: SHALL BE MADE OF A DURABLE MATERIAL... 5. CONSTRUCTION: A. INSTALLATION: THE SILT FENCE SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS... B. MAINTENANCE: THE SILT FENCE SHALL BE MAINTAINED AT THE FOLLOWING INTERVALS... 6. TESTING: A. SILT TESTING: THE SILT SHALL BE TESTED FOR... B. POST TESTING: THE POSTS SHALL BE TESTED FOR...

GEOTEXTILE SILT FENCE (GSF)

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TEMPORARY SEEDING (TS)

1. PURPOSE: TO PREVENT SOIL EROSION AND PROMOTE SOIL RECOVERY... 2. SCOPE: THIS SPECIFICATION APPLIES TO THE TEMPORARY SEEDING... 3. REFERENCES: A. FEDERAL SPECIFICATIONS FOR TEMPORARY SEEDING... B. STATE SPECIFICATIONS FOR TEMPORARY SEEDING... 4. MATERIALS: A. SEED: SHALL BE OF THE FOLLOWING SPECIFICATIONS... B. MULCH: SHALL BE MADE OF A DURABLE MATERIAL... 5. CONSTRUCTION: A. SEEDING: THE SEED SHALL BE APPLIED AT THE FOLLOWING RATES... B. MULCHING: THE MULCH SHALL BE APPLIED AT THE FOLLOWING RATES... 6. TESTING: A. SEED TESTING: THE SEED SHALL BE TESTED FOR... B. MULCH TESTING: THE MULCH SHALL BE TESTED FOR...

PERMANENT SEEDING (PS)

1. PURPOSE: TO PREVENT SOIL EROSION AND PROMOTE SOIL RECOVERY... 2. SCOPE: THIS SPECIFICATION APPLIES TO THE PERMANENT SEEDING... 3. REFERENCES: A. FEDERAL SPECIFICATIONS FOR PERMANENT SEEDING... B. STATE SPECIFICATIONS FOR PERMANENT SEEDING... 4. MATERIALS: A. SEED: SHALL BE OF THE FOLLOWING SPECIFICATIONS... B. MULCH: SHALL BE MADE OF A DURABLE MATERIAL... 5. CONSTRUCTION: A. SEEDING: THE SEED SHALL BE APPLIED AT THE FOLLOWING RATES... B. MULCHING: THE MULCH SHALL BE APPLIED AT THE FOLLOWING RATES... 6. TESTING: A. SEED TESTING: THE SEED SHALL BE TESTED FOR... B. MULCH TESTING: THE MULCH SHALL BE TESTED FOR...

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GEOTEXTILE SILT FENCE (GSF)

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GEOTEXTILE SILT FENCE (GSF)

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1. PURPOSE: TO PREVENT SOIL EROSION AND PROMOTE SOIL RECOVERY... 2. SCOPE: THIS SPECIFICATION APPLIES TO THE TEMPORARY SEEDING... 3. REFERENCES: A. FEDERAL SPECIFICATIONS FOR TEMPORARY SEEDING... B. STATE SPECIFICATIONS FOR TEMPORARY SEEDING... 4. MATERIALS: A. SEED: SHALL BE OF THE FOLLOWING SPECIFICATIONS... B. MULCH: SHALL BE MADE OF A DURABLE MATERIAL... 5. CONSTRUCTION: A. SEEDING: THE SEED SHALL BE APPLIED AT THE FOLLOWING RATES... B. MULCHING: THE MULCH SHALL BE APPLIED AT THE FOLLOWING RATES... 6. TESTING: A. SEED TESTING: THE SEED SHALL BE TESTED FOR... B. MULCH TESTING: THE MULCH SHALL BE TESTED FOR...

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1. PURPOSE: TO PREVENT SOIL EROSION AND PROMOTE SOIL RECOVERY... 2. SCOPE: THIS SPECIFICATION APPLIES TO THE PERMANENT SEEDING... 3. REFERENCES: A. FEDERAL SPECIFICATIONS FOR PERMANENT SEEDING... B. STATE SPECIFICATIONS FOR PERMANENT SEEDING... 4. MATERIALS: A. SEED: SHALL BE OF THE FOLLOWING SPECIFICATIONS... B. MULCH: SHALL BE MADE OF A DURABLE MATERIAL... 5. CONSTRUCTION: A. SEEDING: THE SEED SHALL BE APPLIED AT THE FOLLOWING RATES... B. MULCHING: THE MULCH SHALL BE APPLIED AT THE FOLLOWING RATES... 6. TESTING: A. SEED TESTING: THE SEED SHALL BE TESTED FOR... B. MULCH TESTING: THE MULCH SHALL BE TESTED FOR...

SEDIMENTATION & EROSION CONTROL DETAILS



Scale: AS NOTED
Date: 10-05-17
Project No.: 2002E-16
File No.: 3794
Drawing: 2002E-16
Sheet: ERT
Drawn by: BNT
Checked by: BNT

PROPOSED CHEMICAL STORAGE BUILDING
PREPARED FOR
BULL'S BRIDGE GOLF CLUB
71 BULL'S BRIDGE ROAD
SOUTH KENT, CONNECTICUT

REFER TO 2002 CONSTRUCTION SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND SEDIMENT CONTROL INFORMATION

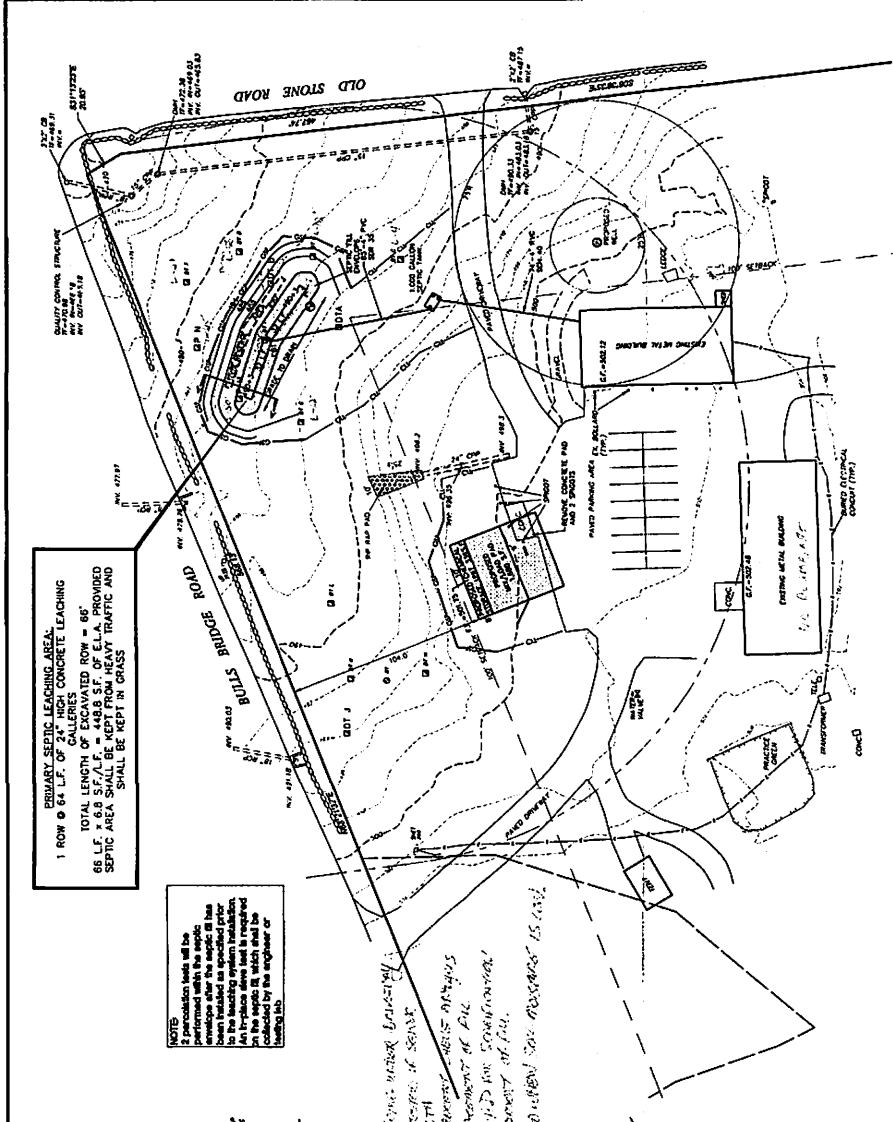
SEDIMENTATION & EROSION CONTROL DETAILS

CCA ENGINEERING LLC
1000 Main Street
South Kent, CT 06089
Tel: 860-426-1111
Fax: 860-426-1112
www.cca-engineering.com

622

SEPTIC SYSTEM DESIGN
 PREPARED FOR
BULL'S BRIDGE GOLF CLUB
 71 BULL'S BRIDGE ROAD
 SOUTH KENT, CONNECTICUT

DATE: 01/23/2023
 DRAWN: T-457
 PROJECT: 20-035
 SHEET: 002
 SCALE: 1"=10'
 DESIGNED BY: [Signature]



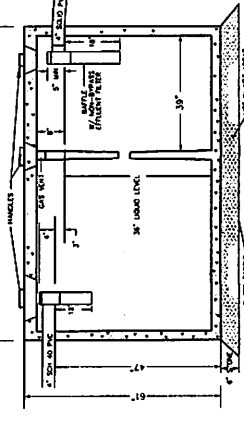
PRIMARY SEPTIC LEACHING AREA
 1 ROW @ 6' L.F. OF 24" HIGH CONCRETE LEACHING
 CHALLENGES SPACED ROW = 68"
 TOTAL LENGTH OF LEACHING ROW = 68"
 66 L.F. X 6.6 SF/L.F. = 448.8 SF OF E.L.A. PROVIDED
 SEPTIC AREA SHALL BE KEPT IN GRASS

NOTE
 Percolation tests will be conducted on the leaching area. The results will be used to determine the required length of the leaching area. The design is based on a percolation rate of 1.5 minutes per inch. The design is based on a percolation rate of 1.5 minutes per inch. The design is based on a percolation rate of 1.5 minutes per inch.

STEP	DESCRIPTION	DEPTH	DIAMETER
SEP-HOLE 1	CONCRETE	18"	18"
SEP-HOLE 2	CONCRETE	18"	18"
SEP-HOLE 3	CONCRETE	18"	18"
SEP-HOLE 4	CONCRETE	18"	18"
SEP-HOLE 5	CONCRETE	18"	18"
SEP-HOLE 6	CONCRETE	18"	18"
SEP-HOLE 7	CONCRETE	18"	18"
SEP-HOLE 8	CONCRETE	18"	18"
SEP-HOLE 9	CONCRETE	18"	18"
SEP-HOLE 10	CONCRETE	18"	18"
SEP-HOLE 11	CONCRETE	18"	18"
SEP-HOLE 12	CONCRETE	18"	18"
SEP-HOLE 13	CONCRETE	18"	18"
SEP-HOLE 14	CONCRETE	18"	18"
SEP-HOLE 15	CONCRETE	18"	18"
SEP-HOLE 16	CONCRETE	18"	18"
SEP-HOLE 17	CONCRETE	18"	18"
SEP-HOLE 18	CONCRETE	18"	18"
SEP-HOLE 19	CONCRETE	18"	18"
SEP-HOLE 20	CONCRETE	18"	18"
SEP-HOLE 21	CONCRETE	18"	18"
SEP-HOLE 22	CONCRETE	18"	18"
SEP-HOLE 23	CONCRETE	18"	18"
SEP-HOLE 24	CONCRETE	18"	18"
SEP-HOLE 25	CONCRETE	18"	18"
SEP-HOLE 26	CONCRETE	18"	18"
SEP-HOLE 27	CONCRETE	18"	18"
SEP-HOLE 28	CONCRETE	18"	18"
SEP-HOLE 29	CONCRETE	18"	18"
SEP-HOLE 30	CONCRETE	18"	18"

1) SCHEDULE WORKERS WITH SEPTIC WORKER TRAINING
 2) AS NEAR TO GARAGE AS POSSIBLE
 3) LINE MARKERS TO BE PLACED IN CONCRETE
 4) SYSTEM TO BE INSTALLED WITHIN 30 DAY PERIOD IS 15 DAY

Approved
Calvin
 4/19/21



1000 GAL. SEPTIC TANK DETAIL



DETAIL - 24" CHALLENGE

REVISIONS

NO.	DATE	DESCRIPTION
1	01/23/2023	ISSUED FOR PERMIT
2	01/23/2023	REVISED PER PERMIT COMMENTS

DESIGN INFORMATION

DESIGNER: [Signature]
 CHECKED: [Signature]
 APPROVED: [Signature]

DEPT. OF CONSTRUCTION
 100 WATER STREET
 HARTFORD, CT 06103

DEPT. OF CONSTRUCTION
 100 WATER STREET
 HARTFORD, CT 06103

DEPT. OF CONSTRUCTION
 100 WATER STREET
 HARTFORD, CT 06103

DEPT. OF CONSTRUCTION
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 HARTFORD, CT 06103

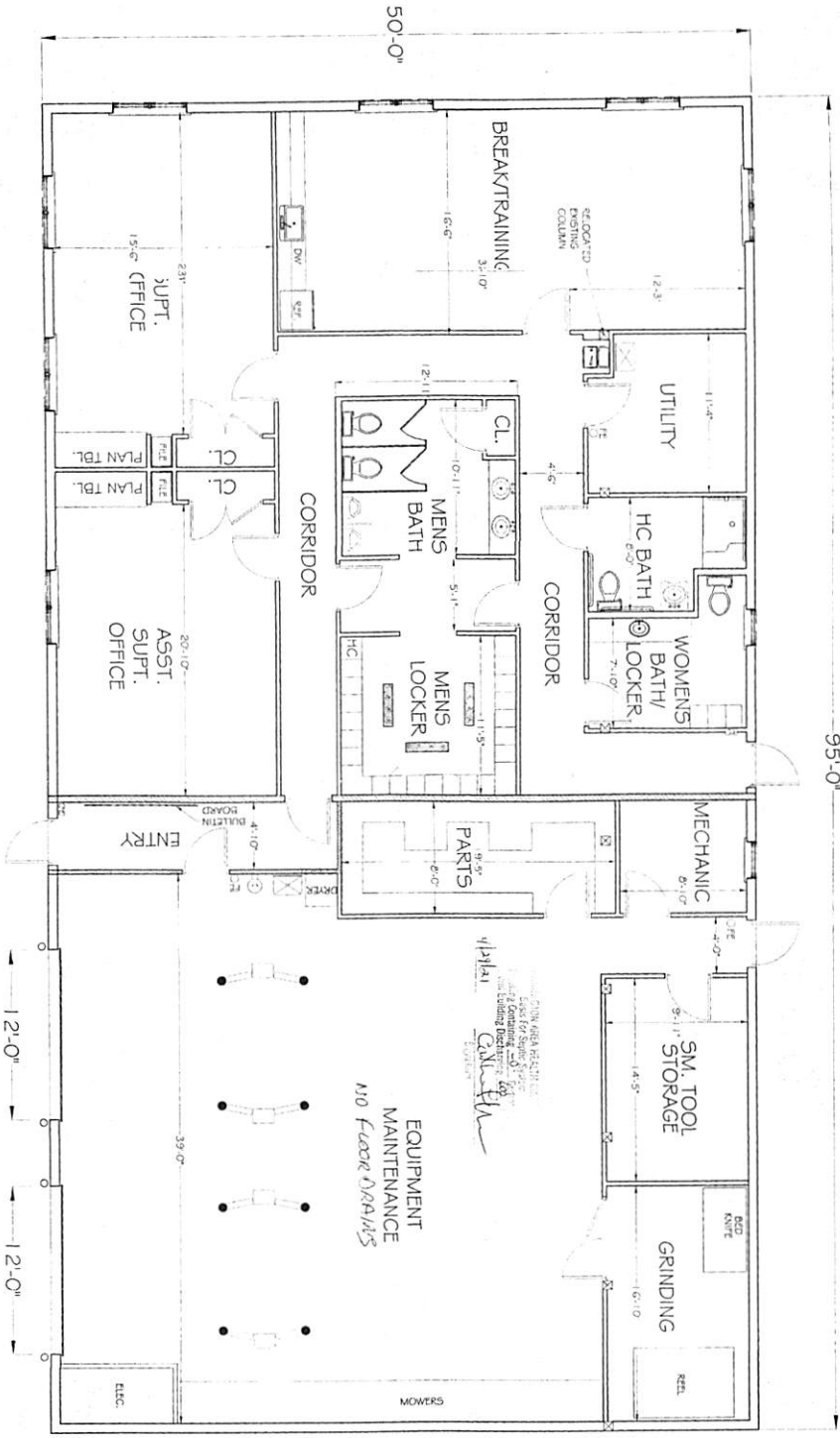
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 HARTFORD, CT 06103

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 100 WATER STREET
 HARTFORD, CT 06103

DEPT. OF CONSTRUCTION
 100 WATER STREET
 HARTFORD, CT 06103

602



This plan was prepared by the Architect under the supervision of the Architect. It is not to be used for any other purpose without the written consent of the Architect. The Architect is not responsible for any errors or omissions in this plan.

REV #	DATE	REVISION

21 Bulls Bridge Rd.
 CLIENT: BULLS BRIDGE GOLF CLUB
 LOCATION: SOUTH NENT, CONNECTICUT
 TITLE: FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 DATE: 2.12.2010
 DRAWN BY: RVM

A.I.

Torrington Area Health District
350 Main St. - Suite A; Torrington, Ct 06790

ba2

Permit #

16447

T A H D Is A Equal Opportunity Provider
Design Review For
Subsurface Sewage Disposal System

71	Bulls Bridge Rd	Kent	Maintenance Building
Lot #	Street # Street Name	Town	Subdivision
Bulls Bridge Gulf Club	41 Bull's Bridge Rd	Kent	Ct. 06757
Owner	Owner Address	Town	State Zip

Owner Telephone	Agent's Name			
C C A & Associates				
Engineer	Engineer Address	Town	State	Zip

This Approval Indicates That The Proposal Has Been Reviewed By The Health District And Is In Compliance With Applicable Regulations As Contained In The Public Health Code For This Project.

Plan Date: April 22, 2021 Plan prepared by Russell Posthauer, jr

Plan Approval Date: April 29, 2021

Of Bedrooms: 600 Gpd

24" High Galleries	1000	448.8	64'
Septic System Type	Tank Size	Field Sq Ft.	Length Of Septic System

Approved Plan Revision Required Required Not Required
(2) Perk Tests In Fill By Engineer

This Is Not A Permit To Construct A Subsurface Sewage Disposal System. The Permit To Construct Will Be Issued To The Licensed Septic System Installer Prior To Actual Construction. This Plan Approval Is Subject To Specific And General Conditions As Shown On This Form And/or The Approved Plan. **Please Read Them Carefully.**

<input checked="" type="checkbox"/> Engineer Design	<input checked="" type="checkbox"/> Select Fill Required	<input checked="" type="checkbox"/> As Below
<input checked="" type="checkbox"/> Percolation Test In Fill	<input type="checkbox"/> Curtain Drain	<input checked="" type="checkbox"/> In Place Sieve Test Required
<input checked="" type="checkbox"/> Engineer As Built Required	<input type="checkbox"/> Engineer Supervision	<input type="checkbox"/> Low Flow Water Treatment
<input checked="" type="checkbox"/> Field Staking By Engineer	<input type="checkbox"/> As-built Installer	

- 1) Sleeve sewer line going under the driveway.
- 2) Clean out to grade needed if sewer line exceeds 75' in length.
- 3) Installer to submit a recent sieve analysis to T.A.H.D. prior to placement of fill.
- 4) Installer to contact T.A.H.D. for scarification inspection prior to placement of fill.
- 5) System to be installed when soil moisture is low.
- 6) It is the owner's responsibility to obtain any necessary approvals from the Inland Wetlands Commission.

Approved By: _____ Director Of Health _____ Sanitarian



6 b 2

April 26, 2021

Board of Directors

President:

Virginia Bush Suttman

Vice President:

Anne Bisenius

Treasurer:

Gary Ford

Secretary:

Bill Bachrach

Directors:

Sharon Cipolla

Irene Coe

Teri Freeman

Lianna Gantt

Miri Knight

Hal Kamm

Betty Krasne

Gregg Sheridan

To: Donna Haynes, Land Use Officer
Joe Manley, Building Inspector
Stan McMillan, Fire Marshal

From: Virginia Bush Suttman, President, Kent Affordable Housing, Inc.

Kent Affordable Housing is planning to purchase the property at 16 Landmark Lane in Kent from John Casey, and we intend to renovate it as five or six town-house-type apartments. As this project will involve permits from the Planning and Zoning Commission, as well as your offices, we would like to start discussions about how this can be accomplished.

The building is approximately 5,000 sq. ft. on .841 acres in the Commercial Zone, and we will file a Zoning Permit under regulations 4100, 26 and 6430, 2, b. The plot and its set backs are shown on the 2018 survey included with this letter, and an easement covers access to drives on the adjacent Shopping Green.

We will soon file an application for a Zoning Permit, and then follow with a Site Plan, when the survey of utilities connections is completed. Our architect Steve Lasar is making preliminary plans for the building. We will need a special permit for the project, and it seems appropriate for him to consult with you all in advance on the code questions that will apply.

When we have title to the property and information on how we can satisfy regulations, Steve will design final plans and we will apply to the CT Department of Housing, the CT Housing Finance Authority and other sources for construction funds.

This is the fourth affordable housing development we have undertaken in the past 12 years, and will require us to work closely with your offices. We hope that it will be as successful and the three phases of Stuart Farm Apartment, and will supply more high quality homes for the Kent Community.

Architect Lasar will contact you soon with preliminary plans and specific questions. You may, of course, contact me about any part of the project.

With thanks in advance for working with KAH on this effort.

Virginia Bush Suttman

info@kentaffordablehousing.org



Kent Affordable Housing, Inc.

P.O. Box 265, Kent, CT 06757-0265 kentaffordablehousing.org

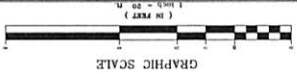




0.841 ± ACRES
 PERIMETER SURVEY PREPARED FOR
JOHN E. CASEY, TRUSTEE
 #16 LANDMARK LANE
 KENT, CONNECTICUT
 SCALE 1" = 20'
 OCTOBER 18, 2018

To the best of my knowledge and belief this map is substantially correct as noted herein.

BOBERT L. HOOK LICENSED LAND SURVEYOR LLC - LIC. 16499 KENT, CT

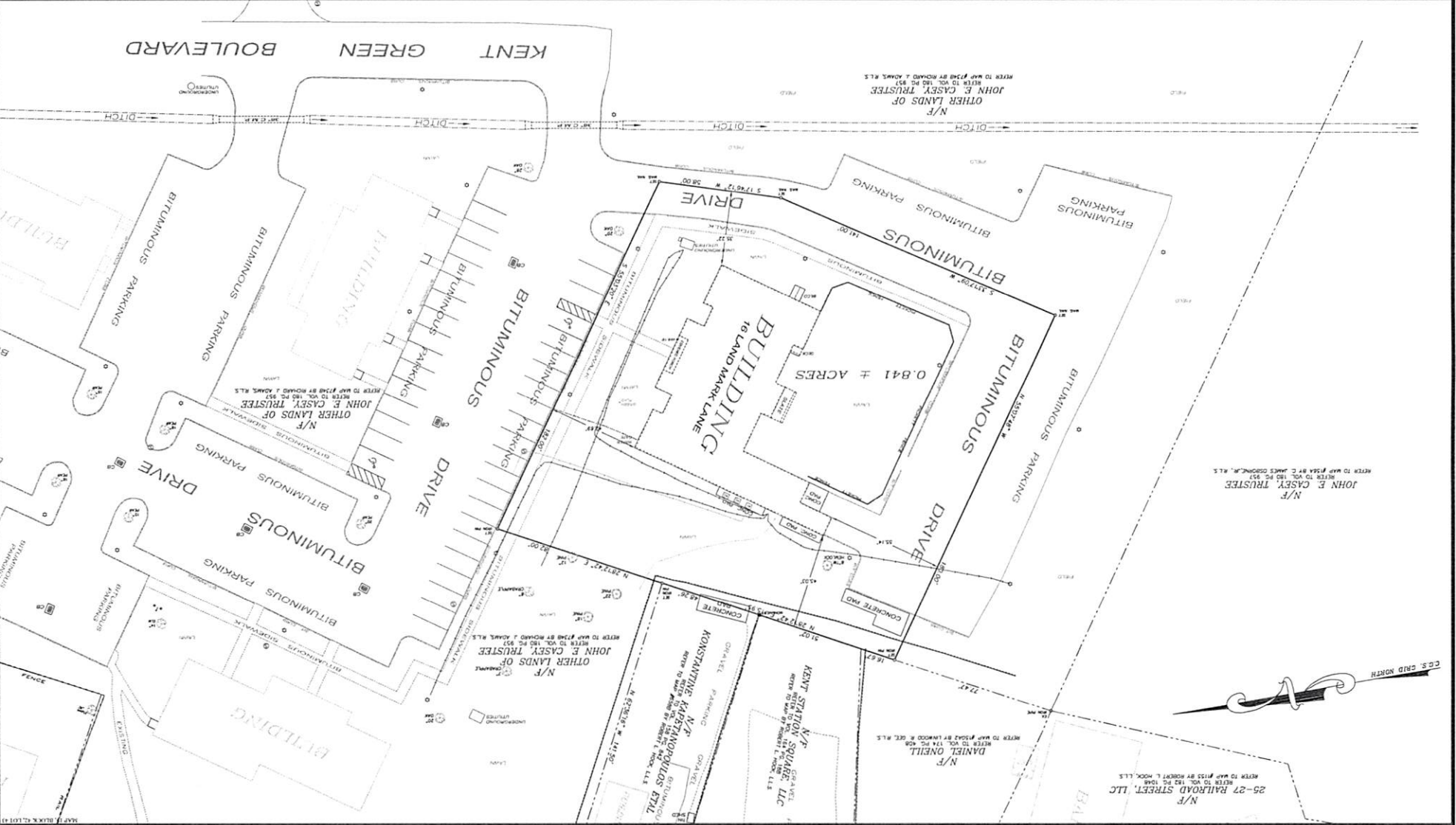


	UTILITY POLE
	CATCH BASIN
	MANHOLE
	WELL
	TREE
	FENCING
	ROAD
	RAIL FENCE
	STONE WALL
	CONSPICUOUS LINT
	BROOK
	LIGHT POST
	PROPERTY LINE
	BOUNDARY LINE
	PROPOSED POINT
	PROPOSED LINE
	PROPOSED AREA

This survey has been made a part of the record in the public records of the State of Connecticut and is subject to all laws, regulations and orders of the State Surveyor. It is the responsibility of the surveyor to ensure that the survey is conducted in accordance with the laws and regulations of the State of Connecticut.

The surveyor is not responsible for the accuracy of any data or information provided to the surveyor by others.

Surveyor's Office: BOBERT L. HOOK LICENSED LAND SURVEYOR LLC, 16499 KENT, CT, 06450

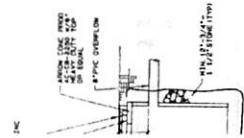


leba

62

ENGINE MANHOLE

MANHOLE

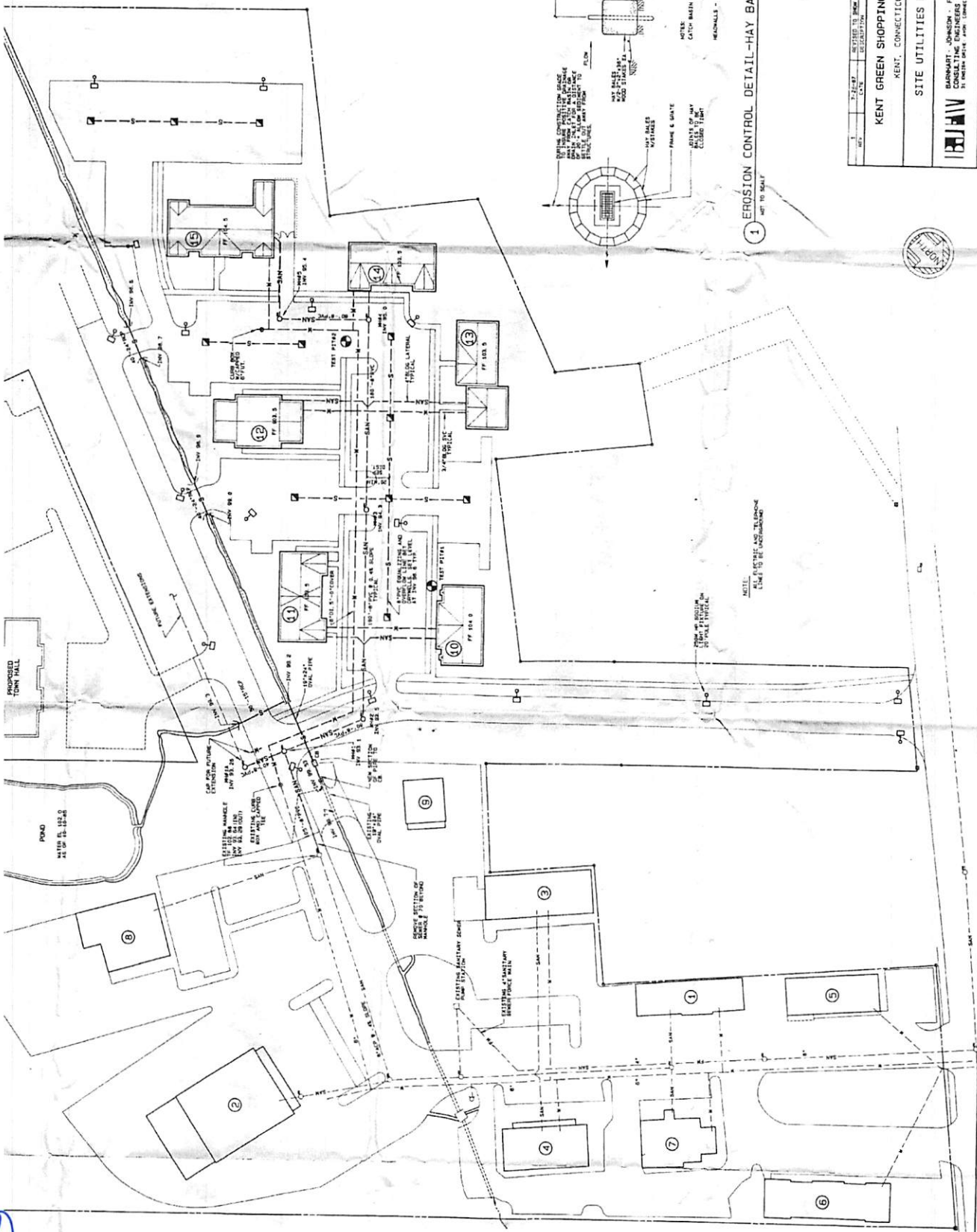


ELL

REINFORCED CONCRETE

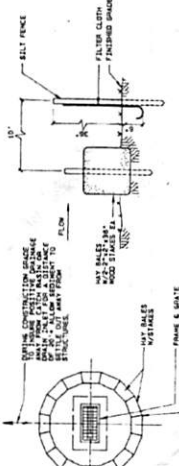
RENCH

C. ASH P-204
N. CLARK S4



TEST PIT DATA
DATE: APRIL 15, 1987

TEST PIT #1	TEST PIT #2
4'-1" TOPSOIL 1'-2" SILT AND FINE SAND 2.0% SANDSTONE SAND NO WATER ENCOUNTERED EITHER HOLE	2'-1" TOPSOIL 1'-4" SILT AND FINE SAND NO WATER ENCOUNTERED EITHER HOLE



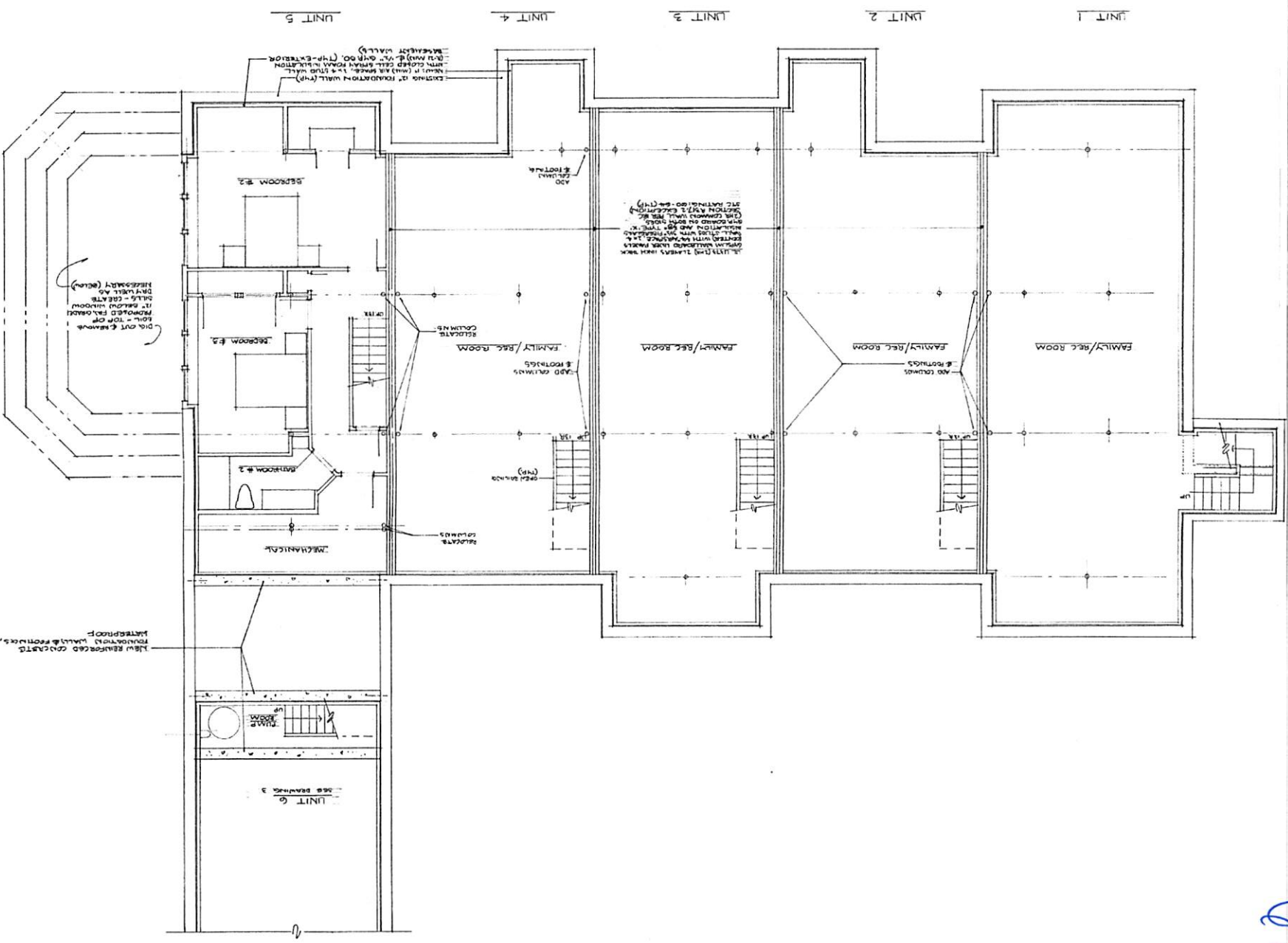
NOTES:
1. CATCH BASIN - SHALL BE INSTALLED IN THE DOWN-SLOPE SIDE OF THE EROSION CONTROL DETAIL.
2. FILTER CLOTH - SHALL BE INSTALLED IN THE DOWN-SLOPE SIDE OF THE EROSION CONTROL DETAIL.
3. FINESTRAIP - SHALL BE INSTALLED IN THE DOWN-SLOPE SIDE OF THE EROSION CONTROL DETAIL.
4. HAY BALE - SHALL BE INSTALLED IN THE DOWN-SLOPE SIDE OF THE EROSION CONTROL DETAIL.
5. FRAME & SPACE - SHALL BE INSTALLED IN THE DOWN-SLOPE SIDE OF THE EROSION CONTROL DETAIL.

1 EROSION CONTROL DETAIL-HAY BALE
NOT TO SCALE

KENT GREEN SHOPPING CENTER KENT, CONNECTICUT	
SITE UTILITIES PLAN	
	BARHART-JOHNSON-FRANCES AND WILD INC. CONSULTING ENGINEERS 11 NORTH OXLEY ROAD, WESTPORT, MASS. 01886-0004
SHEET NO. SU-1	DATE: 4-27-87



LPB



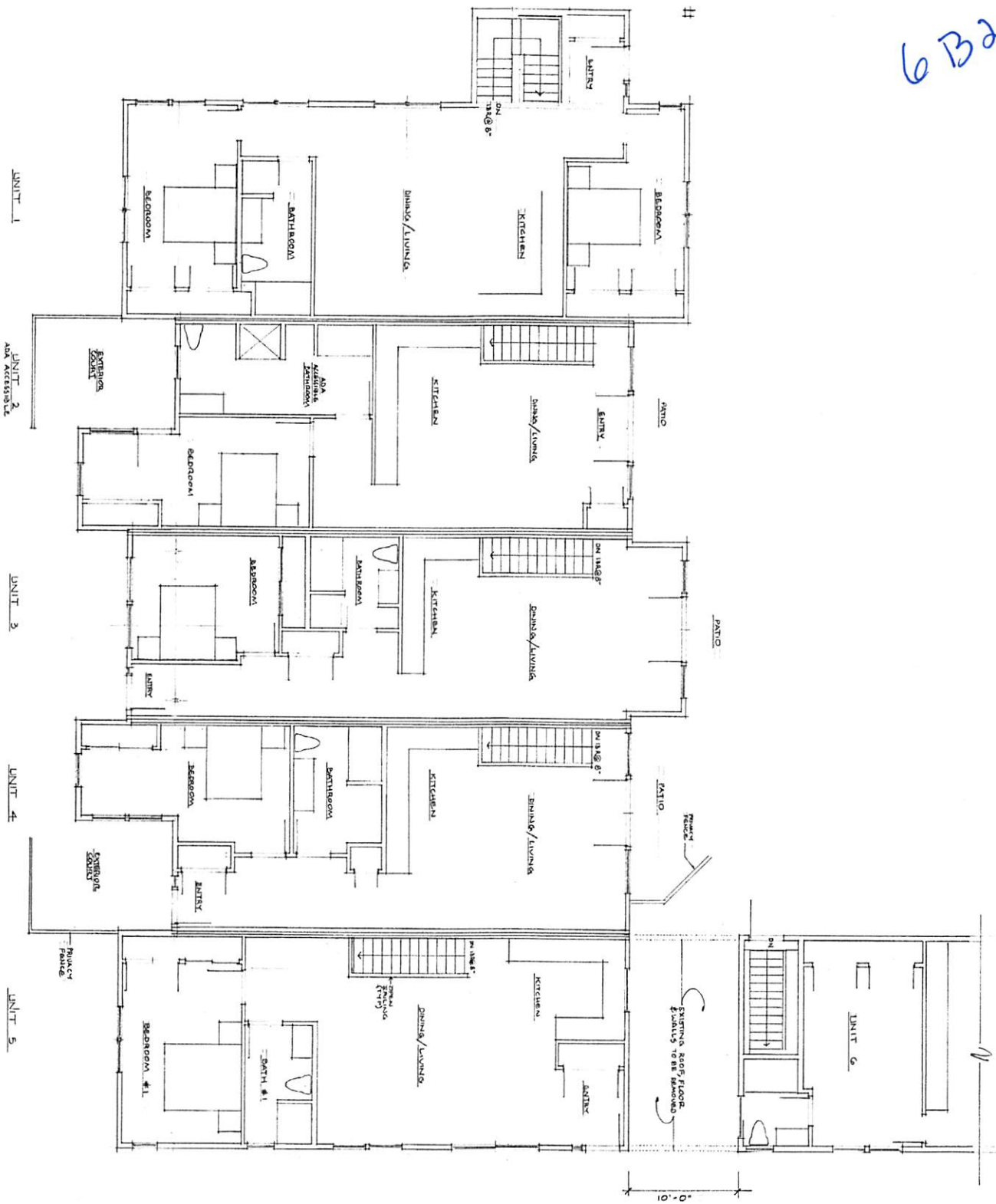
PROPOSAL FOR CONVERTING 16 LANDMARK LANE INTO AFFORDABLE TOWN HOUSE UNITS

BASEMENT PLAN

DATE: 4-28-10
 SHEET: 16-B-01
 SCALE: 1/8" = 1'-0"

STEPHEN LABAN
 ARCHITECTS
 AIA
 1000 UNIVERSITY AVENUE, SUITE 100
 BERKELEY, CA 94702
 TEL: 415.863.1111
 WWW.SLABAN.COM

6 B2



PROPOSAL FOR CONVERTING 1/6 LANDMARK LANE INTO AFFORDABLE TOWNHOUSE UNITS

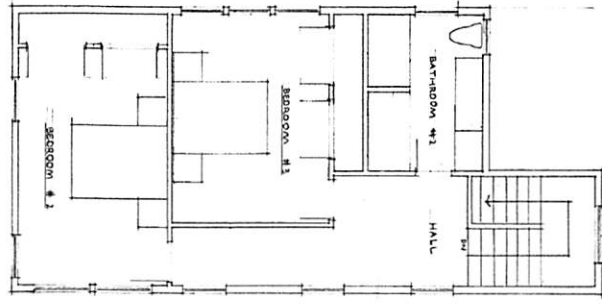
FIRST FLOOR PLAN

THE REGISTRAR HAS REVIEWED THIS PLAN AND FOUND IT TO BE IN ACCORDANCE WITH THE BUILDING ACT AND REGULATIONS.

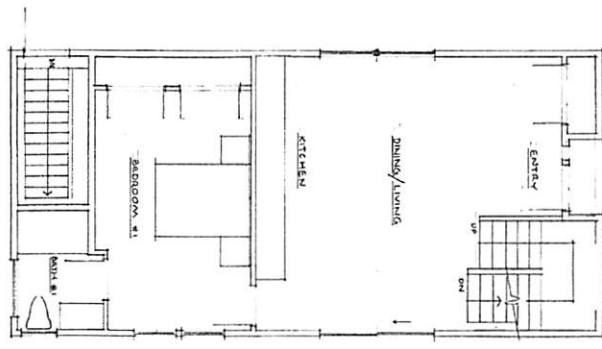
STEPHEN LASAR
 ARCHITECTS AIA
 16 CALDWELL STREET
 WASHINGTON DC 20001, CT 06104
 P: 202.556.5200
 C: 202.556.5200
 www.stephenlasar.com

2

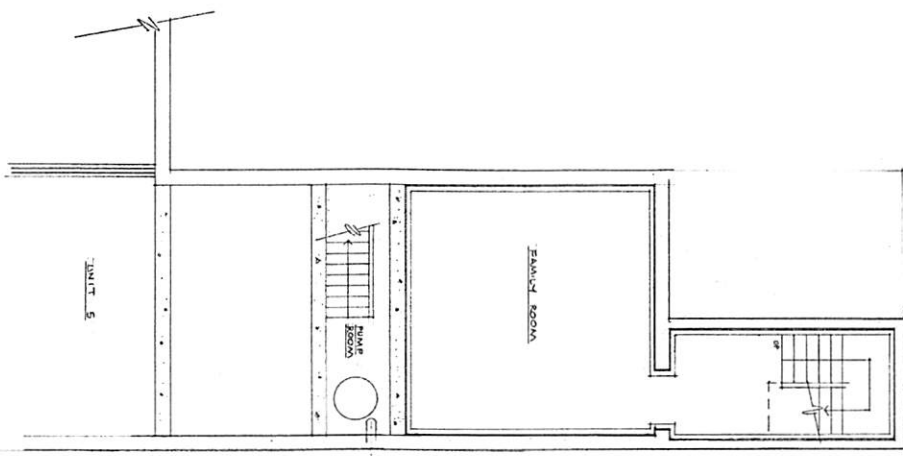
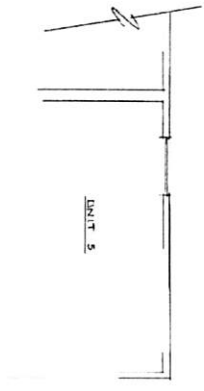
6B2



UNIT 6 SECOND FLOOR PLAN



UNIT 6 FIRST FLOOR PLAN



UNIT 6 BASEMENT PLAN

PROPOSAL FOR CONVERTING 16 LANDMARK LANE INTO AFFORDABLE TOWNHOUSE UNITS

UNIT 6 PLANS

STEPHEN LASAR ARCHITECTS AIA
 18 CALDWAY STREET
 WASHINGTON, DC 20004
 PH: 202 556 6996
 WWW.STEPHENLASARARCHITECTS.COM
 CONTACT: 202 556 6996

3

6 B2



COMMERCIAL ZONING APPLICATION TOWN OF KENT, CT

THIS APPLICATION MUST BE ACCOMPANIED BY A SKETCH PLAN AS REQUIRED BY THE ZONING REGULATIONS.

ALL DRIVEWAYS AND SIGNS NEED A SEPARATE APPLICATION AND PERMIT.
THIS IS NOT A BUILDING PERMIT.

Name of property owner: John Casey

Owner's mailing address: 8 Cobble Lane Kent

Telephone number: 860-927-5077 E-mail address: john@kentgreen.com

Applicant's name: Kent Affordable Housing, Inc. - W.D. Suttman (Pres)

Applicant's address: PO Box 265

Applicant's telephone: 860-927-3684 E-mail address: info@kentaffordablehousing.org

Application is hereby made to the Planning and Zoning Commission for a permit to construct the following structure:

Activity: Change of use to Affordable Apartments

Property address: 16 Landmark Lane

Change of use: From: Commercial To: Residential

Distance to property lines: Front: 42 Rear: 55 Right side: 45 Left Side: 42

Size of proposed structure: x 5000+ Sq. ft.: same Height of proposed structure: same

Lot area: .84 acres Cubic yards of fill to be deposited on the property (if any): 0

Yards of earth materials to be removed off the property (if any): 0

Is this property subject to a conservation or preservation restriction: Yes No

If so, a written notice must be sent to the party holding such restriction sixty days prior to the submittal of this application. Proof of this notice shall be attached as per CT Public Act 05-124.

THIS PROPOSAL MUST BE APPROVED BY THE TOWN SANITARIAN PRIOR TO THE SUBMISSION TO THE PLANNING AND ZONING COMMISSION.

Signature of applicant: Virginia Ruth Suttman Date: 5/11/21

Estimated cost of work: ? Fee: Total cost not more than \$2,000=\$50.00 plus \$60.00 state fee
Total cost more than \$2,000=an additional .5% of the total project cost

OFFICE USE ONLY

Application No: Date of action:
 Map: Block: Lot: Permit granted: Permit not granted:
 Application fee: Permit #:
 Date received: Zoning regulations:

Please note: All decisions made by the Land Use Administrator may be appealed to the Zoning Board of Appeals if filed within the specified 30-day appeal period. Please see the Connecticut General Statutes Section 8-7 as amended.

LB2

May 11, 2021

To: Kent Planning and Zoning Commission
From: Kent Affordable Housing, Virginia Bush Suttman

RE: Preliminary conversation on proposed Affordable Housing renovation

Donna Hayes has told me that I can attend your May 13, Zoom meeting at 7PM to introduce some information about our projected reconstruction of 16 Landmark Lane into 6 affordable units. She has said this comes under commercial regs 4100, 26 and affordable housing regs 6430 2, b.

Provided here are

- 1) Survey of the .841 ac. plot by Hock Surveyors, showing the location of sewer, water and electricity, which were flagged about a week ago by a company recommended by CBYD. 1a) There is also a survey of that south end of Kent Green with utilities made when the property was being built in 1987, which shows the continuation of those utility lines.
The conversion would make only minor changes in the building footprint, at the entrances, as indicated on the plans.
- 2) Preliminary floor plans by Stephen Lasar of the units, with alternatives for the 6th 3BR unit at the SE. There are one 3BR, one 2BR and four 1BR, the alternatives being for the 3BR.
The sheet with three plans shows the alternative for the 3BR SE unit with a second above ground. The other two sheets show the alternative NE unit with two bedrooms in the basement with egress according to code.
Joe Manley has said to Lasar that the plans do fit code, including the 2-hour fire walls between contiguous units, and the egress. Of course, that would be further certified with final plans.
- 3) A draft of a Zoning Permit, which does not contain a construction cost, as that is impossible to estimate at this point.

Our intention is to purchase the property in August and then begin applications to funding agencies we used for Stuart Farm Apartments: Dept. of Housing, CT Housing Finance Authority and Federal Home Loan Bank of Boston. We are well along with an application for a purchase mortgage from Local Initiatives Support Corporation. It might be two years before construction starts, and a Site Permit and Special Permit with hearing would take place as that stage draws closer.

Kent Affordable Housing has worked since 2010 to build 13 units at Stuart Farm, and of course opened the 24 units at South Common in 2003. We hope to do more, when it is sorely needed, both in Kent and across the country. P&Z has been part of that success, and we look forward to beginning the conversations that will entail.



KENT VILLAGE DISTRICT ARCHITECTURAL REVIEW BOARD PRE-APPLICATION

663

(FOR OFFICE USE ONLY)

App. #: _____

Date of receipt: _____

Official date of receipt: _____

Name of property owner: Irvlen Equities LLC
 Owner's mailing address: P.O. Box 516 Kent CT 06757
 Telephone number: 860-318-5750 E-mail address: wm@morris-gallery.com

Applicant's name: William Morrison
 Applicant's address: 2 Halls Ln Kent CT 06757 / 60 N. Main
 Applicant's telephone: 860-318-5750 E-mail address: wm@morris-gallery.com

Property address: _____
 Map: Block: Lot: Zone: VC-C VC-R1 VC-R2 IA IB RURAL

Project Description: changes: corner window on south side changed to match the other interior windows @ Hemlock siding throughout, and no metal siding.
 (3) Concrete trim is now Bronze metal.

Is this property subject to a conservation or preservation restriction: Yes No
 If so, a written notice must be sent to the party holding such restriction sixty days prior to the submittal of this application. Proof of this notice shall be attached as per CT Public Act 05-124.

Has this case gone to the Zoning Board of Appeals? Yes No
 If yes, please include the approval letter from the ZBA.

Signature of applicant: [Signature] Date: 5.6.21
 Signature of property owner: [Signature] Date: 5.6.21

Please read the **ARCHITECTURAL DESIGN STANDARDS KENT VILLAGE DISTRICT** and **REQUIRED DOCUMENTS AND HELPFUL SUGGESTIONS** before any presentation to the Architectural Review Board. The ARB has discretion to refuse to consider an application it considers incomplete. If an item is N/A, please describe why.

CHECKLIST

<input type="checkbox"/>	A Completed ARB Pre-Application Form.
<input type="checkbox"/>	Sketch Plan as outlined by Section 10300 of the Kent Zoning Regulations.
<input type="checkbox"/>	Photographs showing the location of the proposed activity as well as the surrounding properties.
<input type="checkbox"/>	Copy of the Kent Village District Map with the subject property highlighted.
<input type="checkbox"/>	Elevation drawings (front and side views), section drawings and/or photographic images. These materials shall indicate the existing and proposed roofing, siding, windows and exterior doors as well as roof pitches, overhangs, eaves, etc. Overall dimensions of the plan and vertical dimensions of the eaves and ridge shall be shown as well as sizes of the windows and exterior doors.
<input type="checkbox"/>	Samples or catalog "cuts" of proposed roofing, siding, windows and doors. Product sheets may be acceptable.

5/11/2021

Town of Kent CT Mail - Changes to the Gallery

6/6/3



Donna Hayes <landuseadmin@townofkentct.org>

Changes to the Gallery

wm@morrisongallery.com <wm@morrisongallery.com>

Thu, May 6, 2021 at 1

To: Donna Hayes <landuseadmin@townofkentct.org>

Cc: Matt Winter <MAWinter06757@gmail.com>, Ellen Corseil <ecorseil@snet.net>

Hi Donna,

Thank you for your email. I feel terrible about not letting the arb know about the window change. After seeing the window at the south side all framed out, I thought it looked awful, from the ins and outside. so I asked to have it match the other two tall windows that are on the opposite side. Other than the hemlock going on the back part too so it will look more rustic for the town, these are the only changes. We thought hemlock would be better than the corrugated steel.

How do I get an arb application?

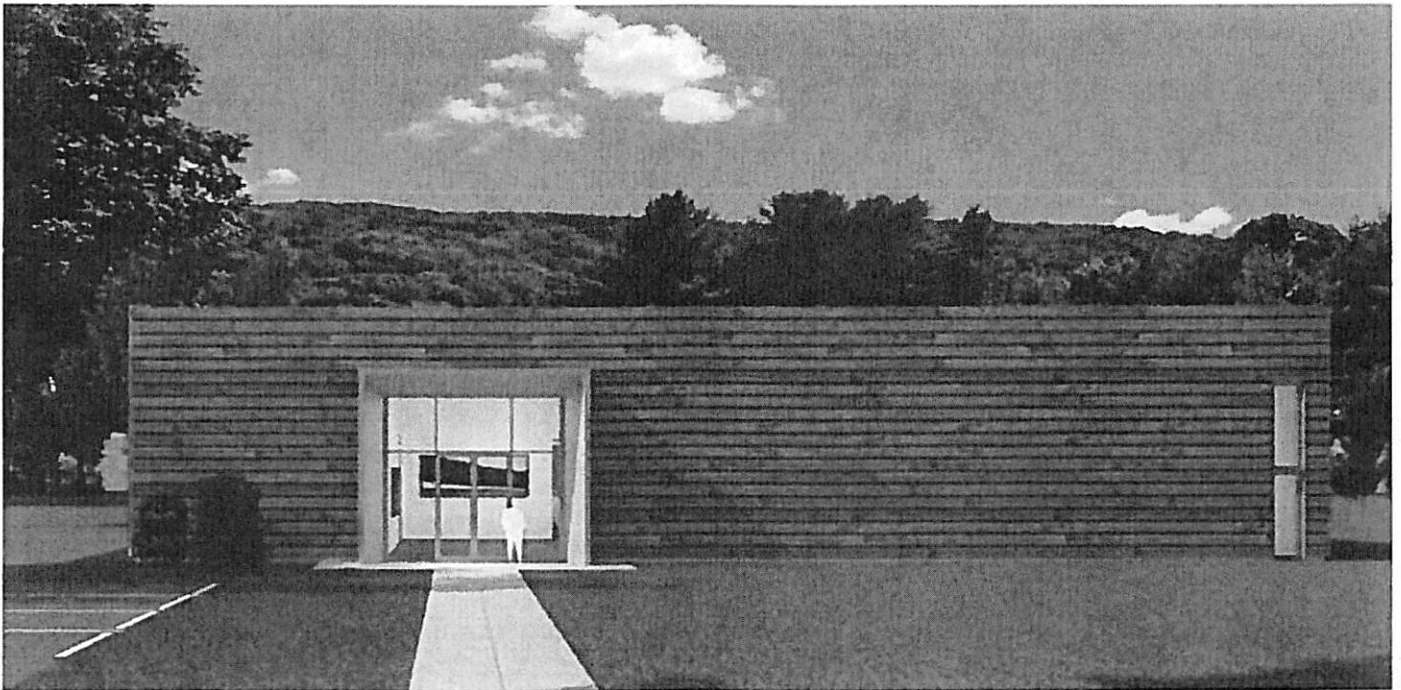
Attached is the updated image of the window. The concrete trim will be steel in a black/bronze for a cleaner look.

My apologies to the ARB!

Thank you.

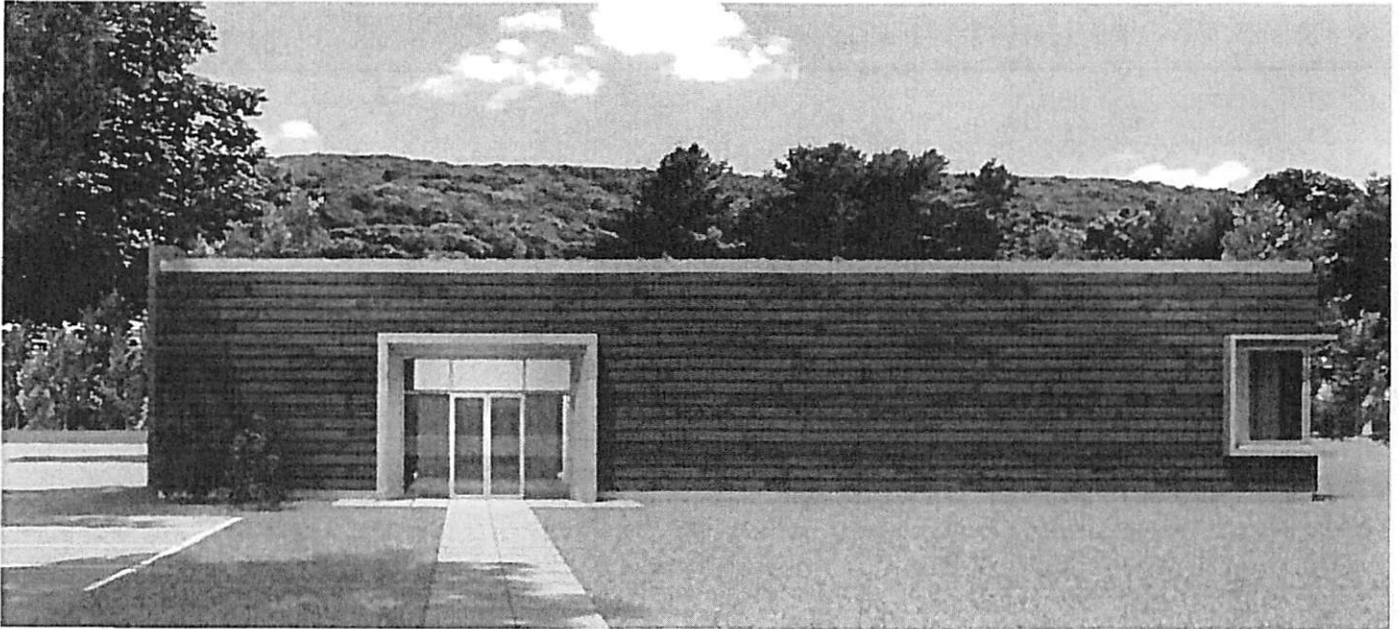
Best,

Billy



NEW

LB3



OLD

William A. Morrison | Morrison Gallery
60 North Main Street | Kent, CT 08757
t: +1-860-927-4501 | morrisongallery.com

This e-mail message is intended only for the named recipient(s) above and may contain information that is privileged, confidential and/or exempt from disclosure under applicable law. Any other distribution, copying or disclosure is strictly prohibited. If you have received this message in error, or are not the named recipient(s), please notify the sender and delete this e-mail message.

On May 6, 2021, at 10:50 AM, Donna Hayes <landuseadmin@townofkentct.org> wrote:

[Quoted text hidden]

QA

**TOWN OF KENT PLANNING AND ZONING COMMISSION
Administrative Permits Issued
April 5 – May 7, 2021**

PERMIT #	PROPERTY OWNER	PROPERTY LOCATION	FOR	MAP	BLOCK	LOT
28-21AP	Raphael & Courtney Posner	21 Oak Ridge Road	1-bedroom detached dwelling unit/pool house	10	41	19
33-21AP	Sadtler/Cloutier	8 Elizabeth Street	Two 120-gallon a/g LP tanks	19	15	32
34-21AP	Tegan & Michael Gawel	25 Hidden Meadow Lane	Temporary trailer	16	25	60
35-21AP	Boyle & Queijeiro	60 Cobble Road	Sundeck & screened in porch	9	42	10
36-21AP	Jeffrey Gershel	15 Oak Ridge Rd	CofU – basement to bedroom/playroom/1/2 bath	10	41	20
37-21AP	Kent School Corp.	50 Schaghticoke Road	50' x 85' prefab metal storage building	4	3	5
38-21AP	Chaplin/Kim	32 Mountain Road	Conversion of existing garage to GH; shed	12	40	15
40-21AP	Engine 22, LLC	21 Bridge Street	Change of use	19	13	10
41-21AP	John & Ann Riney	107 Flat Rock Road	Construction of covered front entry on existing front porch foundation	11	41	6
42-12DAP	Kruysman/Russo	28A Stone Fences Lane	Extension of driveway	10	22	44
44-21Sign	KenMil Realty, LLC	64 Maple Street	Replacement of existing sign	4	12	9

**TOWN OF KENT PLANNING AND ZONING COMMISSION
Certificates of Compliance Issued**

PERMIT #	PROPERTY OWNER	PROPERTY LOCATION	FOR	MAP	BLOCK	LOT
34-18AP	Carlton Rochelle, Jr.	64 Howland Road	Inground pool	11	40	32
104-18AP	Carlton Rochelle, Jr.	64 Howland Road	Sun room, covered deck replacement; laundry room; screened porch	11	40	32

May 6, 2021

**CONNECTICUT FEDERATION OF PLANNING
AND ZONING AGENCIES
QUARTERLY NEWSLETTER**

Spring 2021

Volume XXV, Issue 2

When the applicant wanted to add additional fill so as to create a more level yard, the WEO approved the change. An abutting neighbor appealed this decision to the Commission, which affirmed the decision. An appeal to court followed.

The court found that the WEO acted properly as Connecticut General Statute Sec. 22a-42a(c)(2) provides the Commission with the authority to delegate a decision to approve or extend an activity not within a wetland or watercourse to its duly authorized agent.

The Commission's regulations contained a provision delegating the authority and there was evidence in the record that the WEO possessed the necessary training as required by the state statute. *See Zahid v. Inland Wetlands and Watercourses Agency, 70 Conn. L. Rptr. 245 (2020).*

**TIME LIMIT CAN BE PLACED ON
SPECIAL PERMITS**

While it is well established that a special permit, once it is recorded on the land records, 'runs with the land', can zoning regulations place a time limit on the duration of the permit? The State Appellate Court says yes.

In this case, the commission approved a special permit to construct a retail center. A condition of the approval was that the proposed use must be completed within two years of the approval. The regulations also provided

for renewal of the special permit to allow additional time for completion. When the Commission approved such a renewal application, an abutting property owner appealed claiming that the approval had expired.

The State Appellate Court's review focused on the defense raised by the special permit holder that the permit ran with the land and thus could not expire. In reaching its decision that the permit could expire, the court focused on Connecticut General Statute Sec. 8-2 which provides the Commission with the authority to attach conditions to a special permit "necessary to protect the public health, safety, convenience and property values." The Court found that this statutory language empowers a zoning authority to impose a temporal condition on a special permit such as by requiring the completion of a development attendant to the permitted use within a set time frame. *See International Investors v. Town Plan & Zoning Commission, 202 Conn. App. 582 (2021).*

**FAILURE OF A COMMISSION TO
ACT IS NOT APPEALABLE TO
COURT**

When a planning & zoning commission refused to accept a site plan application, an appeal of this action by the commission was appealed to court. The applicant argued that since the commission had failed to render a

**CONNECTICUT FEDERATION OF PLANNING
AND ZONING AGENCIES
QUARTERLY NEWSLETTER**

Spring 2021

Volume XXV, Issue 2

**IMPOSSIBILITY TO COMPLY
RAISED AS DEFENSE TO ZONING
ENFORCEMENT**

A judgment of \$125,000 in daily fines plus \$51,674.00 in attorney fees awarded by a trial was reversed by the State Appellate Court. The case concerned the use of a residentially zoned property as a junkyard and processing center for over a period of 5 years. The homeowner used her home in connection with her business, which was to clean out foreclosed properties. She would, under contract with the foreclosing lender, empty a foreclosed home of its contents and then sell or junk these items. Much of this material ended up at her home, where it was first stored indoors and then overflowed into the front and side yards of her property. The award was made under C.G.S. Sec. 8-12, which provides for daily fines as well as an award of attorney fees where the violation is deemed to be willful.

At trial, the homeowner raised the defense that it was impossible for her to comply with the zoning regulations because shortly after the issuance of the operative cease and desist order, her home was destroyed by fire. Due to an investigation regarding the cause of the fire, she was ordered by the police as well as her insurance carrier to not remove anything from the property. The court agreed that these orders did prevent her from complying with the cease and desist order and reversed the

court's decision as to its award of fines and attorney fees on this basis. A new trial was ordered solely on the issue of making a determination as to these issues. In issuing its remand order, the Appellate Court instructed that daily fines in a civil action are limited to a maximum amount of \$100.00 per day. The \$250.00 maximum amount is limited to a criminal conviction for a zoning violation. *See South Windsor v. Lanata, 203 Conn. App. 89 (2021).*

**ENFORCEMENT OFFICER CAN
MODIFY APPROVED PERMIT**

A wetlands permit that was approved by the Commission was later modified by the wetlands enforcement officer. The permit as approved allowed for the construction of a single-family dwelling and an accessory structure as well as the creation of a yard adjacent to some wetlands.

[CONT. ON NEXT PAGE]

CONFERENCE WEBINAR

Please join us on April 21, 2021 at 3:30 pm for a webinar. The topic of discussion will focus on the many pending bills before the state legislature which negatively affect local zoning authority. An invitation to this webinar will be emailed to all members on our email list. A notice will also be posted on the Federation's website www.cfpza. We will also take time to recognize those members who received length of service awards and lifetime achievement awards.

Written and Edited by
Attorney Steven E. Byrne
790 Farmington Ave., Farmington CT 06032
Tel. (860) 677-7355
Fax. (860) 677-5262
attysbyrne@gmail.com
cfpza@live.com

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**CONNECTICUT FEDERATION OF PLANNING
AND ZONING AGENCIES
QUARTERLY NEWSLETTER**

Spring 2021

Volume XXV, Issue 2

decision on his site plan application within the time period stated in Connecticut General Statutes Sec. 8-3(g)(1) and 8-7d, the court should find its application automatically approved. Instead, the court dismissed the appeal, stating that only a decision could be appealed and that the commission's refusal to accept the application was not a decision.

Instead, the applicant should have filed a mandamus action with the court. This action would request an order from the court that the commission approve the site plan application as required by Connecticut General Statute Sec. 8-3(g)(1) and 8-7d because it failed to make a decision within 65 days of the filing of its application. The court did add that such an order would not be awarded as a matter of right as the court has discretion to deny a request for mandamus. See *B. Metcalf Asphalt Paving Inc. v. Planning & Zoning Commission*, 69 Conn. L. Rptr. 24 (2019).

**ZONING LEGISLATION
CONTINUES TO ADVANCE**

Numerous bills have been submitted to the State legislature which seek to drastically amend our zoning laws by reducing local control and creating State mandates. For example, S.B. 1024 – An Act Concerning Zoning Authority, Certain Design Guidelines, Qualifications of Certain Land Use

Officials and Certain Sewage Disposal Systems, would require that multi-family and single-family housing be treated the same. It would also eliminate a commission's authority to consider the character of the town and replace it with a set of state-imposed guidelines. This bill, as well as many others, will soon emerge from various committees and face a vote before the State Legislature. The Federation asks that you visit our website and also www.ct169strong.org for more information and how to take action to preserve local control over zoning.

ANNOUNCEMENTS

Workshops

At the price of \$180.00 per session for each agency attending, our workshops are an affordable way for your board to 'stay legal'. Each workshop attendee will receive a booklet which sets forth the 'basics' as well as a booklet on good governance which covers conflict of interest and how to run a meeting and a public hearing.

ABOUT THE EDITOR

Steven Byrne is a practicing attorney with an office in Farmington, Connecticut. A principle in the law firm of Byrne & Byrne LLC, he maintains a strong focus in the area of land use law and is available for consultation and representation in all land use matters both at the administrative and court levels.

Written and Edited by
Attorney Steven E. Byrne
790 Farmington Ave., Farmington CT 06032
Tel. (860) 677-7355
Fax. (860) 677-5262
attysbyrne@gmail.com
cfpza@live.com

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BOOK ORDER FORM

Name of Agency: _____

Person Making Order: _____

Address: _____

Purchase Order No.: _____

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at \$ 30.00 each for members Copies _____ \$ _____
at \$ 35.00 each for nonmembers

"CONNECTICUT ZONING BOARD OF APPEALS"
at \$ 25.00 each for members Copies _____ \$ _____
at \$ 30.00 each for nonmembers

"WORKSHOP BOOKLETS" at \$12.00 each for members & \$16.00 each for nonmembers
Planning & Zoning Commissions Copies _____ \$ _____
Zoning Board of Appeals Copies _____ \$ _____
Inland Wetlands & Watercourses Copies _____ \$ _____
Historic District Commissions Copies _____ \$ _____

TOTAL DUE: _____ \$ _____

*Please make check payable to:
Connecticut Federation of Planning & Zoning Agencies*

CONNECTICUT FEDERATION OF
PLANNING & ZONING AGENCIES
2B Farmington Commons
790 Farmington Avenue
Farmington CT 06032

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19 APR 2021 PM 3 L



Kent Planning & Zoning Commission
Town Hall
41 Kent Green Blvd.
P.O. Box 678
Kent, CT 06757-0678

06757-0678

